

PLANNING APPLICATION

305 E STREET, 509, 503 3RD STREET
DAVIS, CA





VICTINITY MAP

UNIT AND AREA SUMMARY													
3RD STREET													
DAVIS, CA													
LATEST UPDATE: OCTOBER 4, 2024													
BUILDING 1													
CONSTRUCTION TYPE: TYPE IIA													
FLOORS: TJI WOOD OVER CONCRETE SLAB													
UNIT	TYPE	DESCRIPTION	UNIT AREA (SF)	FLOOR LEVELS	1ST	2ND	3RD	4TH	5TH	ROOF	UNIT TOTAL	% RATIO	TOTAL UNIT AREA (SF)
1 BEDROOM	A1.0	1 BDRM / 1 BATH	482	1	1	1	1	1	1	-	5	8%	2,410
	A2.0	1 BDRM / 1 BATH	495	-	2	2	2	2	2	-	8	13%	3,980
	A3.0	1 BDRM / 1 BATH	503	-	1	1	1	1	1	-	4	6%	2,012
1 BEDROOM SUB-TOTAL			483	1	4	4	4	4	4	0	17	27%	8,382
2 BEDROOM	B1.0	2 BDRM / 2 BATH	788	1	2	2	2	2	2	0	9	14%	7,992
2 BEDROOM SUB-TOTAL			788	1	2	2	2	2	2	0	9	14%	7,992
3 BEDROOM	C1.0	3 BDRM / 3 BATH	1,126	-	2	2	2	2	-	-	6	10%	6,756
	C1.1	3 BDRM / 3 BATH	983	1	-	-	-	-	-	-	1	2%	983
	C1.2	3 BDRM / 3 BATH	1,006	-	-	-	-	-	-	-	3	5%	3,018
	C2.0	3 BDRM / 3 BATH	1,054	-	1	1	1	1	-	-	3	5%	3,162
3 BEDROOM SUB-TOTAL			850	-	1	1	1	1	1	-	4	6%	3,400
4 BEDROOM	D1.0	4 BDRM / 3 BATH	1,141	1	1	1	1	1	1	-	5	8%	5,705
	D1.1	4 BDRM / 3 BATH	1,156	-	1	1	1	1	1	-	4	6%	4,824
	D2.0	4 BDRM / 3 BATH	1,270	-	1	1	1	1	1	-	4	6%	5,080
	D2.1	4 BDRM / 3 BATH	1,060	-	-	-	-	-	1	-	1	2%	1,060
	D3.0	4 BDRM / 3 BATH	1,153	-	1	1	1	1	-	-	3	5%	3,459
	D4.0	4 BDRM / 3 BATH	1,270	-	1	1	1	1	-	-	3	5%	3,810
4 BEDROOM SUB-TOTAL			1,187	1	5	5	5	5	4	0	20	32%	23,738
TOTAL UNITS			AVERAGE SF	897	4	15	15	15	14	0	63	100%	56,531
TOTAL BEDS			166										
NET RENTABLE RESIDENTIAL AREA IS MEASURED CENTER OF DEMISING WALL, EXTERIOR FACE OF STUD OF EXTERIOR WALL AND CORRIDOR WALLS, EXCLUDING DECKS													
NET RENTABLE RESIDENTIAL BY FLOOR (EXCLUDING DECKS)													
			3,394	13,697	13,697	13,697	13,697	12,046	0				56,531
RESIDENTIAL AMENITIES													
LEASING OFFICE			2,775	293	293	293	1,465	2,094					7,213
COMMERCIAL			1,294	-	-	-	-	-	-	-	-	-	1,294
RETAIL (STORAGE, UTILITY ROOMS, TRASH)			3,067	-	-	-	-	-	-	-	-	-	3,067
GARAGE													0
OTHER (STORAGE, UTILITY ROOMS, CIRCULATION, SHAFTS)			4,997	2,636	2,636	2,636	2,636	1,834					25,169
TOTAL GROSS			17,246	18,075	18,075	18,075	17,522	4,281					93,274

STATISTICS

PROJECT DESCRIPTION

THE 3RD STREET PROJECT IS A PRIVATELY FUNDED MIXED-USE MULTI-FAMILY PROJECT WITH RESIDENTIAL UNITS, LOBBY, LEASING, BICYCLE STORAGE, RETAIL, FITNESS CENTER, A LOBBY ON FLOOR 4, AND LANDSCAPED ROOF DECK AT FLOOR 5.

THE PROJECT CONSISTS OF THE ELEMENTS DESCRIBED BELOW:

- 43 RESIDENTIAL DWELLING UNITS (SEE STATISTICS FOR MORE INFORMATION)
- ALL RESIDENTIAL UNITS ARE ADAPTABLE (ACCESSIBLE PER CHAPTER 11A)
- UNITS ABOVE THE GROUND FLOOR ARE ACCESSIBLE VIA ELEVATOR
- PROPOSED VERTICAL MIXED USE BUILDING IS 5-STORIES OF TYPE IIA WOOD FRAMED CONSTRUCTION
- ALL PUBLIC AREAS AND CORRIDORS ARE ACCESSIBLE PER CHAPTER 11A
- ALL PORTIONS OF THE PROJECT ARE FULLY SPRINKLERED PER 903.1.1.1 NFPA 13
- ALL REFERENCES TO "AUTOMATIC SPRINKLERS SYSTEM MEAN" PER 903.3.1.1 / NFPA 13
- PROJECT INCLUDES RELEVANT SITE WORK INCLUDING EXCAVATION, GRADING, PAVING, LANDSCAPING, AND UTILITY CONNECTIONS AS REQUIRED FOR A COMPLETE PROJECT.

STATE DENSITY BONUS - CONCESSIONS, WAIVERS & INCENTIVES

THE 305 E STREET PROJECT UTILIZES THE STATE DENSITY BONUS LAW BY INCLUDING MORE THAN 10% OF THE TOTAL UNITS (EXCLUDING BONUS UNITS AS DEFINED BY THE STATE DENSITY BONUS LAW) TO VERY LOW INCOME HOUSEHOLDS, ALLOWING THE PROJECT TWO CONCESSIONS/INCENTIVES AND AN UNLIMITED AMOUNT OF WAIVERS.

CONCESSIONS:

BUILDING TYPOLOGY PERMITTED IN THE NEIGHBORHOOD-MEDIUM (N-M) ZONING DISTRICT PER SECTION 40.14.07(1) OF THE ZONING CODE

MAXIMUM BUILDING DIMENSIONS FOR THE MAIN STREET-LARGE ZONING DISTRICT (MS-L) PER SECTION 40.14.07(1) OF THE ZONING CODE

WAIVERS:

HEIGHT LIMIT: WAIVE BUILDING HEIGHT LIMIT PER SECTION 40.13.100.D OF THE ZONING CODE FROM 4 STORIES AND 40' MAX TO 5 STORIES AND 50' MAX HEIGHT IN THE NEIGHBORHOOD-MEDIUM (N-M)

MASSING: WAIVE STEPBACK ABOVE FOURTH STORY, PER SECTION 40.14.08(1) OF THE ZONING CODE IN THE MAIN STREET-LARGE ZONING DISTRICT (MS-L)

ZONING INFORMATION

DENSITY: DOWNTOWN DAVIS ZONE:
SITE AREA: 27,066 SQFT = 0.62 ACRES
ALLOWED DENSITY: MS-L - 10% N/M - 7%
PROPOSED DENSITY: 63 UNITS / 0.62 ACRES = 101.6 UNITS / ACRE

LEGAL DESCRIPTION: PARCEL ONE: LOTS 7 & 8, CITY OF DAVIS BLK 31 L 7 & 8 MB 3 PG 71
PARCEL TWO: LOT 15, CITY OF DAVIS BLK 31 L 15 MB 3 PG 71
PARCEL THREE: LOT 16, NA

ASSESSOR'S PARCEL #: LOT 7 & 8, 305 E STREET: 070-212-008-000
LOT 15, 509 3RD STREET: 070-212-009-000
LOT 16, 503 3RD STREET: 070-212-009-000

ZONING DISTRICT: LOTS 7 & 8: MAIN STREET - LARGE ZONE (MS-L 40.13.100)
LOT 15-16: NEIGHBORHOOD - MEDIUM ZONE (N-M 40.13.100)

FAR: LOT AREA: 27,066 SQFT / 0.62 ACRES (COMMERCIAL + RESIDENTIAL)
SFA: 88,708 SF
FAR: 89,400 / 24,208 =
LOT COVERAGE: 17,010 SF (63%)

REQUIRED SETBACKS: MS-L / N-M
FRONT AT E ST: 0' MIN / 10' MAX 0' MIN / 7' MAX (CORNER BUILDING)
FRONT D ST: 0' MIN / 10' MAX 0' MIN / 7' MAX (CORNER BUILDING)
SIDE AT 3RD ST: 0' MIN / 10' MAX 0' MIN / 7' MAX (CORNER)
SIDE AT BUILDING: 0' MIN 5' MIN

BUILDING INFORMATION

BUILDING ADDRESS: 305 E STREET DAVIS, CA 95618
503, 508, 515 3RD STREET DAVIS, CA 95618

NUMBER OF STORIES: 1 FLOOR OF MIXED USE, 4 FLOORS OF RESIDENTIAL

ALLOWABLE HEIGHT: MS-M - 5 STORIES MAX / 65' MAX T.O. PLATE (ROOF) / 75' MAX OVERALL
N-M - 4 STORIES MAX / 45' MAX T.O. PLATE (ROOF) / 52' MAX OVERALL

PROPOSED HEIGHT: 69'0" T.O. PARAPET / 68'0" OVERALL

PROPOSED USES: RESIDENTIAL USES: RESIDENTIAL
RETAIL/FOOD USES: GENERAL RETAIL
OFFICE/SERVICE USES: ADMINISTRATIVE/PROFESSIONAL OFFICE
RECREATION/ASSEMBLY USES: FITNESS FACILITY

OCCUPANCY TYPES: R-2 (RESIDENTIAL)
B-BUSINESS (LEASING OFFICE & TENANT SPACE)
A-3 ASSEMBLY (FITNESS CENTER)

SPRINKLERED: YES
FIRE ALARM: YES
HIGH RISE: NO
ASSEMBLY SQFT: NA

PARKING

VEHICLE PARKING REQUIRED: NONE
VEHICLE PARKING PROPOSED: NONE

BICYCLE PARKING REQUIRED: CLASS I SPACES = 125 SPACES (75% TOTAL BEDS)
COMMERCIAL = 8 SPACES
CLASS II SPACES = 41 SPACES (25% TOTAL BEDS)
COMMERCIAL = 0 SPACES
TOTAL = 166 SPACES

BICYCLE PARKING PROPOSED: CLASS I SPACES = 176 SPACES
COMMERCIAL = 0 SPACES
CLASS II SPACES = 44 SPACES
COMMERCIAL = 0 SPACES
TOTAL = 220 SPACES

PROJECT TEAM

APPLICANT / OWNER: DDO PARTNERSHIP
P.O. BOX 70000
DAVIS, CA 95617
P: 530.802.9999
CONTACT: ANDREW DOWLING

ARCHITECT: BDE ARCHITECTURE
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SAN FRANCISCO, CA 94103
P: 415.556.9768
CONTACT: JONATHAN ENNIS

CIVIL: BIF ENGINEERS
150 CALIFORNIA ST SUITE 800
SAN FRANCISCO, CA 94111
P: 415.593.1900
CONTACT: MIKE O'CONNELL

LANDSCAPE: MCCULLOUGH LANDSCAPE
ARCHITECTURE, INC.
3858 FIFTH AVE
SAN DIEGO, CA 92103
P: 619.296.3150
CONTACT: DAVID MCCULLOUGH

TRASH MANAGEMENT: AMERICAN TRASH MANAGEMENT
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EMERYVILLE, CA 94608
P: 415.292.5401
CONTACT: SCOTT BROWN

SHEET INDEX

AP01 PROJECT INFORMATION
AP02 RENDERINGS
AP03 RENDERINGS
AP04 RENDERINGS
AP05 EXISTING CONDITIONS
AP06 CONTEXTUAL MAP
AP07 SITE DIAGRAMS
AP08 MASSING EXHIBIT
AP09 BIKING PARKING EXHIBIT
C1.01 TITLE SHEET
C2.01 EXISTING CONDITIONS
C4.01 SITE PLAN
C5.01 GRADING & DRAINAGE PLAN
C6.01 UTILITY PLAN
C7.01 STORMWATER CONTROL PLAN
C8.01 FIRE ACCESS PLAN

L1.00 TREE DEMO PROTECTION PLAN - LEVEL 01
L1.01 LANDSCAPE PLAN - LEVEL 01
L1.02 LANDSCAPE PLAN - ROOF DECK
AP10 SITE PLAN - GRADE
AP20 FLOOR 1
AP22 FLOOR 2-4
AP23 FLOOR 5
AP24 ROOF PLAN
AP25 ELEVATIONS
AP30 ELEVATIONS
AP31 10 SECTIONS
AP32 MATERIAL BOARD
TR01 SITE PLAN
TR10 RES. TRASH TERMINATION ROOM
TR11 COMMERCIAL TRASH ROOM











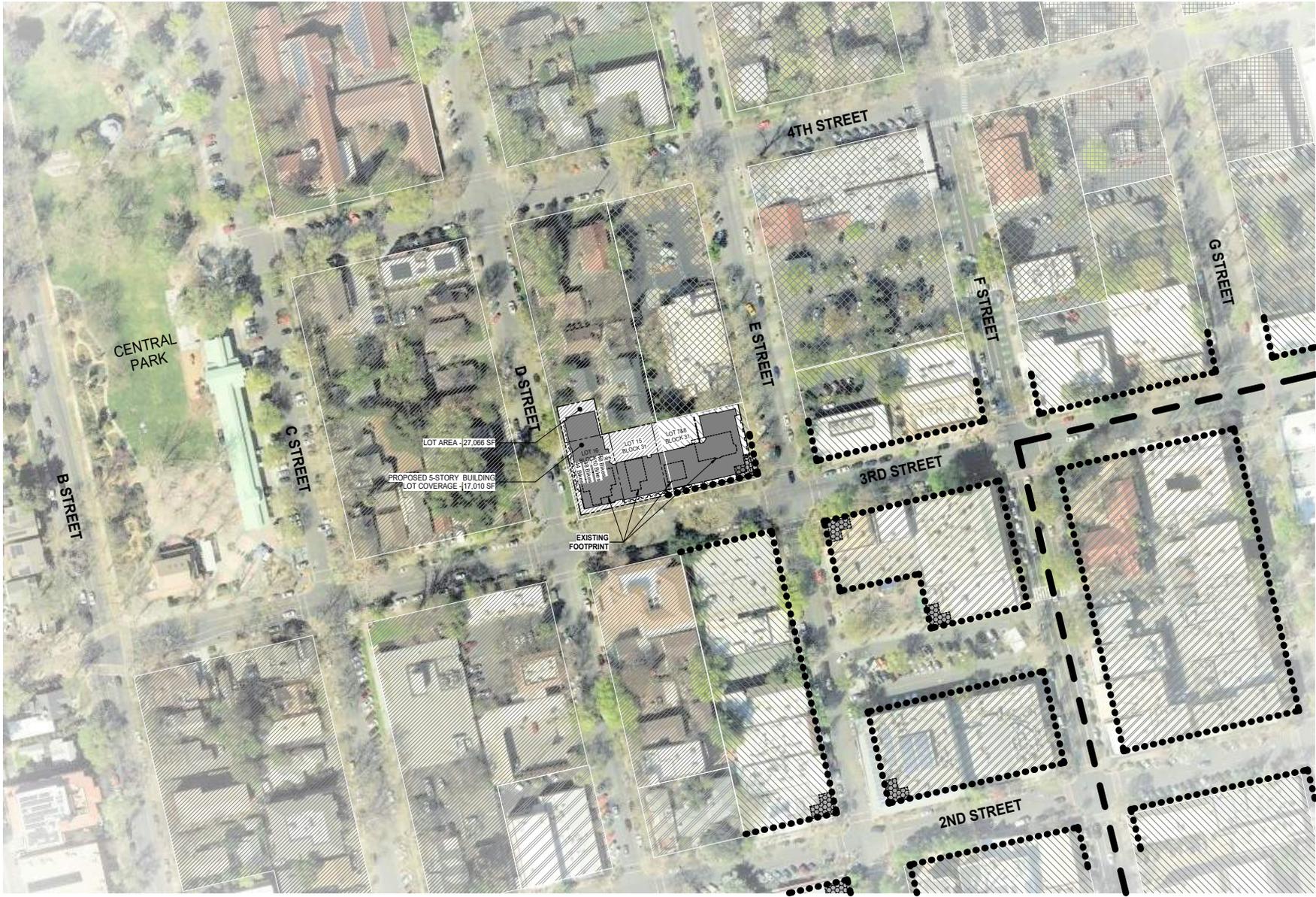
EXISTING CONDITIONS

AP0.05

DAVIS, CA

OCTOBER 8, 2024

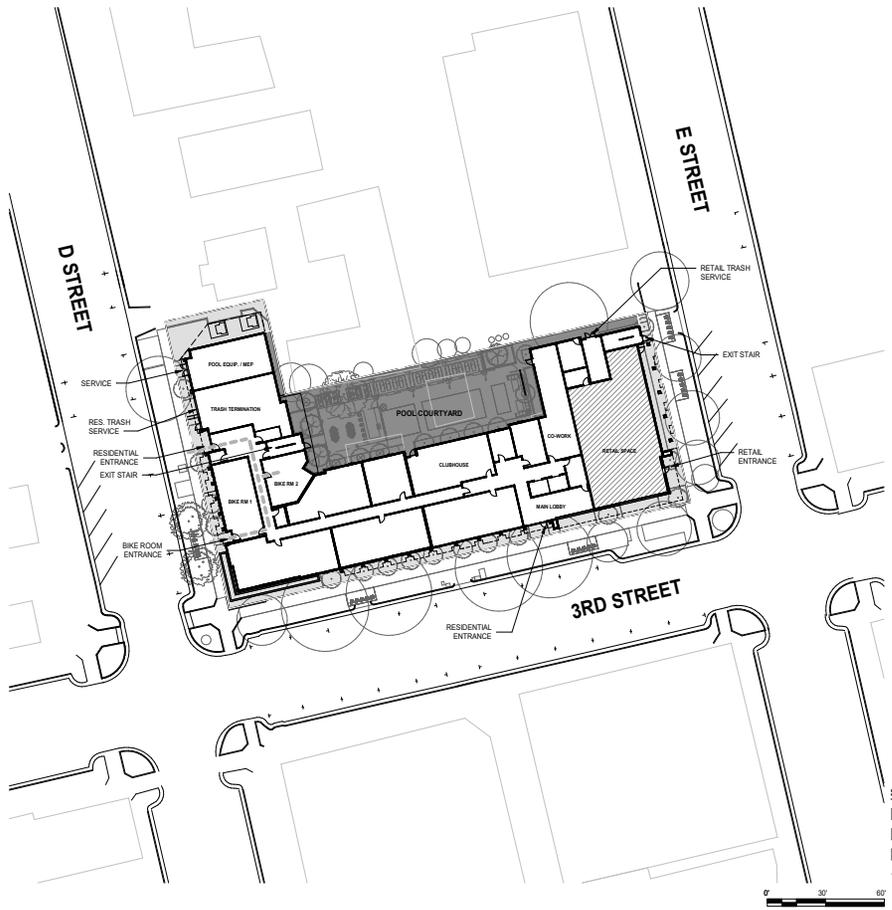
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ZONING LEGEND

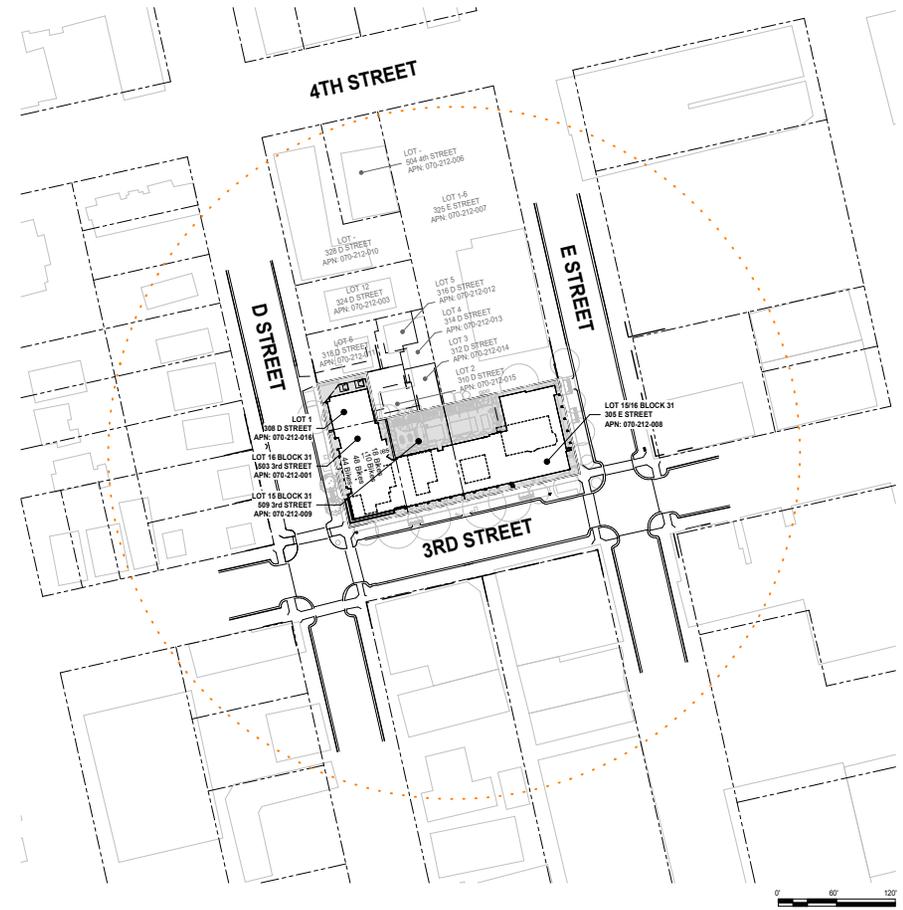
	N-M NEIGHBORHOOD MEDIUM
	N-L NEIGHBORHOOD LARGE
	MS-M MAIN STREET MEDIUM
	MS-M MAIN STREET MEDIUM (UP TO 5 STORIES)
	MS-L MAIN STREET LARGE
	MS-L MAIN STREET LARGE (UP TO 7 STORIES)
	CORNER ELEMENT
	SHOPFRONT FRONTAGE REQUIRED
	DAVIS SQUARE ZONE BOUNDARY



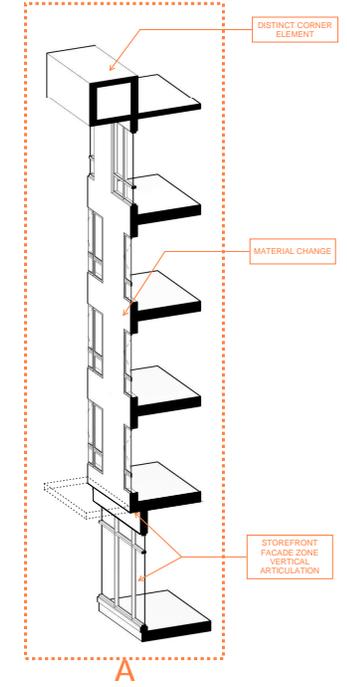
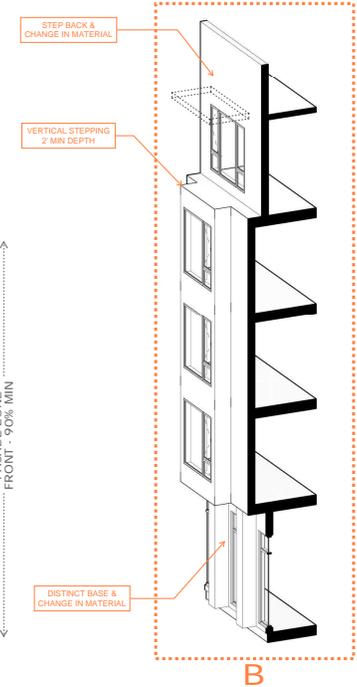
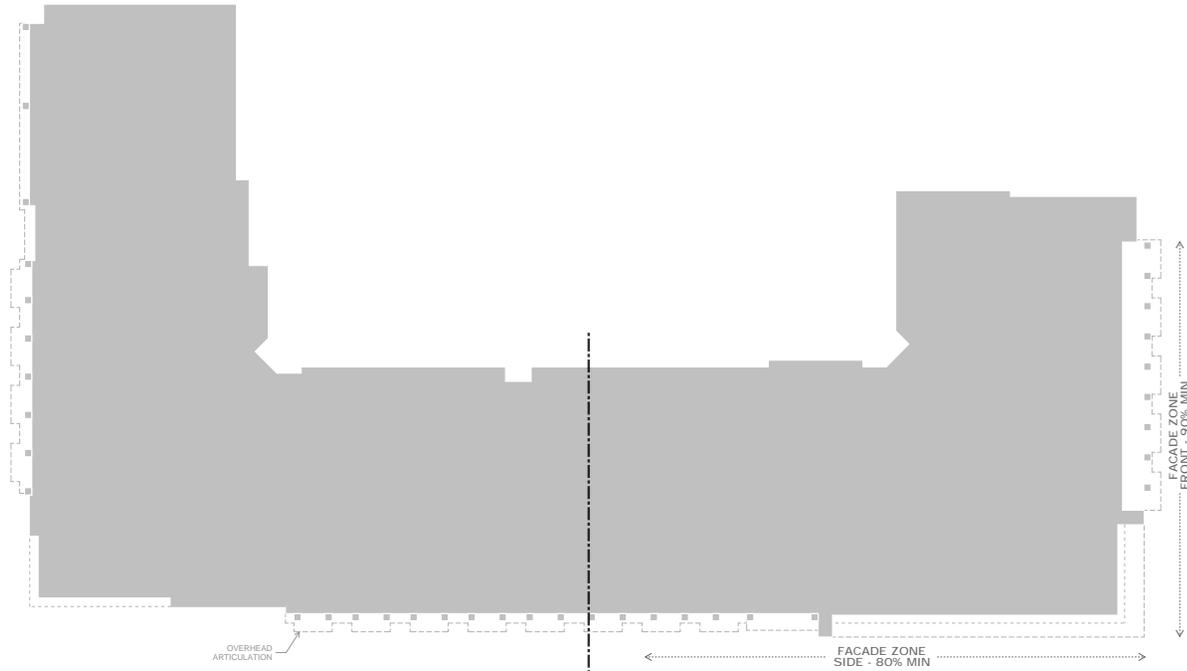


- SITE LEGEND**
- OPEN PUBLIC SPACE
 - PRIVATE RESIDENTIAL SPACE
 - RETAIL SPACE
 - BICYCLE PATH TO STORAGE

SITE DIAGRAM - INGRESS/EGRESS 2
1" = 30'-0"



SITE DIAGRAM - 200 ft RADIUS 1
1" = 60'-0"



SIDE FACADE E STREET



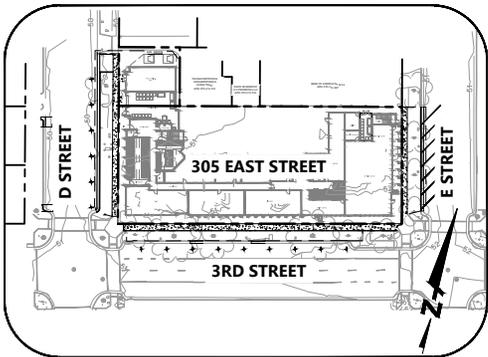
305 EAST STREET PLANNING SUBMITTAL

CITY OF DAVIS, YOLO COUNTY, CALIFORNIA

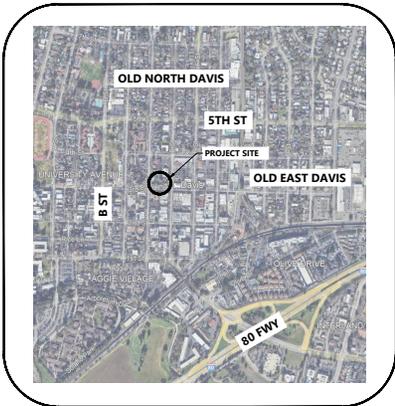
ABBREVIATIONS

AB	AGGREGATE BASE	LF	LINEAR FEET
AC	ASPHALT CONCRETE	LIP	LIP OF GUTTER
ACC	ACCESSIBLE	LID	LOW IMPACT DEVELOPMENT
ACP	ASBESTOS CEMENT PIPE	LOW	LIMIT OF WORK
AD	AREA DRAIN	LT	LIGHT
ADJ	ADJACENT	LSCP	LANDSCAPE
APP	APPENDIX	LT	LIGHT
APN	ACCESSORS PARCEL NUMBER	LTX	MAXIMUM
AWSS	AUXILIARY WATER SUPPLY SYSTEM	MIN	MINIMUM
B/W, BW	BACK OF WALK	MH	MANHOLE
BC	BEGINNING OF CURVE	N	NORTH
BCR	BEGINNING CURB RETURN	NTS	NOT TO SCALE
BF	BACKFLOW PREVENTER	NO.	NUMBER
BLD, BLDG	BUILDING	OC	OFF CENTER
BTM	BOTTOM	OD	OUTSIDE DIAMETER
BRIC	BOTTOM OF RETAINING CURB	OH	OVERHEAD
BSW	BACK OF SIDEWALK	OR, O.R.	OFFICIAL RECORD
C&G	CURB AND GUTTER	PCC	PORTLAND CEMENT CONCRETE
CB	CATCH BASIN	PERF	PERFORATED
CCP	CONCRETE CYLINDER PIPE	PC&E	PACIFIC GAS & ELECTRIC
CL	CENTER LINE	PRG	PARKING
CLR	CLEARANCE	PL	PROPERTY LINE
CO	CLEANOUT	PDC	POINT OF CONNECTION
CONC	CONCRETE	PRO	PROPOSED
COR	CORNER	PUE	PUBLIC UTILITY EASEMENT
CATV, CTV	CABLE TELEVISION	PVG	POLYVINYL CHLORIDE
DSDA	DOUBLE CHECK DETECTOR ASSEMBLY	PVI	POINT OF VERTICAL INFLECTION
DI	DROP INLET	R	RADIUS, RIGHT OF ALIGNMENT LINE
DIA	DIAMETER	RCP	REINFORCED CONCRETE PIPE
DMA	DRAINAGE MANAGEMENT AREA	RM	RM ELEVATION
DOC, DU	DOCUMENT	RFL	RELATIVE COMPACTION
DW	DOMESTIC WATER	RL	ROOF LEADER
DWG	DRAWING	RW	RIGHT OF WAY
DWY	DRAINWAY	S	SLOPE, SOUTH
E	EAST	SAN	SANITARY
E, ELEC	ELECTRIC	SDB	STORM DRAIN
EASE, ESMT	EASEMENT	SDCB	STORM DRAIN CATCH BASIN
EB	ELECTRIC BOX	SF	SQUARE FEET
EC	END OF CURVE	S.E.P.	SEE ELECTRICAL PLANS
ECR	END CURB RETURN	S/W, SW	SIDEWALK
EG	EXISTING GROUND	S.A.P.	SEE ARCHITECTURAL PLANS
EL, ELEV	ELEVATION	SD	STORM DRAIN
EM	ELECTRIC METER	SDAD	STORM DRAIN AREA DRAIN
EP	EDGE OF PAVEMENT	SDD	STORM DRAIN CLEANOUT
EX, EXIST	EXISTING	SDDI	STORM DRAIN DROP INLET
FC	FACE OF CURB	SDJB	STORM DRAIN JUNCTION BOX
FDC	FIRE DEPARTMENT CONNECTION	SDM	STORM DRAIN MANHOLE
FF	FINISHED FLOOR	SDOF	STORM DRAIN OVERFLOW
FG	FINISHED GRADE	SFP	SEE FIRE PROTECTION PLANS
FH	FIRE HYDRANT	S.J.T.P.	SEE JOINT TRENCH PLANS
FL	FLOWLINE	SL	STREET LIGHT
FNO	FENCE	SLB	STREET LIGHT BOX
FO	FIBER OPTIC CABLE	S.L.P.	SEE LANDSCAPE PLANS
FS	FIRE SERVICE	S.P.P.	SEE PLUMBING PLANS
FT	FEET	SS	SANITARY SEWER
FW	FIRE WATER	SSCO	SANITARY SEWER CLEANOUT
GAS	GAS	SSMH	SANITARY SEWER MANHOLE
GB	GRADE BREAK	S.S.P.	SEE STRUCTURAL PLANS
GM	GAS METER	ST	STREET
GND	GROUND	STA	STATION
GPM	GALLONS PER MINUTE	STD	STANDARD
GR	GRATE, GRATE ELEVATION	T, TEL, TELE	TELEPHONE
GV	GATE VALVE	TBD	TO BE DETERMINED
HDPPE	HIGH DENSITY POLYETHYLENE	TC	TOP OF CURB
HP	HIGH POINT	TOP	TOP OF PAVEMENT
H, HORIZ	HORIZONTAL	TR	TRANSFORMER
ID	INNER DIAMETER	TRC	TOP OF RETAINING CURB
INV	INVERT	TRC	THEORETICAL TOP OF CURB
IRRG, IRR	IRRIGATION	TYP	TYPICAL
JP	JOINT POLE	VAL	VALLEY GUTTER
JT	JOINT TRENCH	UB	UTILITY BOX
L	LENGTH	USA	UNDERGROUND SERVICE ALERT
L/C, LS	LANDSCAPE	W	WATER, WEST
		WM	WATER METER
		WV	WATER VALVE

LEGEND	PROPOSED	EXISTING	
SITE BOUNDARY	---	---	WATER VALVE
LIMIT OF WORK	---	---	MONUMENT
EASEMENT	---	---	TRANSFORMER
APPROX. CONTOURS	---	---	BIKE RACK
FENCE	---	---	STREET LIGHT
STORM DRAIN	---	---	INLET PROTECTION
SANITARY SEWER	---	---	POLE LIGHT
WATER MAIN	---	---	STORM DRAIN CLEAN OUT
FIRE WATER MAIN	---	---	STORM DRAIN AREA DRAIN
GAS LINE	---	---	STORM DRAIN CATCH BASIN
JOINT TRENCH	---	---	OVERHEAD WIRES
SANITARY SEWER CLEAN OUT	---	---	STREET SIGN
SANITARY SEWER MANHOLE	---	---	SPOT ELEVATION
STORM DRAIN CURB INLET	---	---	WATER METER
STORM DRAIN MANHOLE	---	---	BACK FLOW PREVENTER
DETECTOR CHECK	---	---	JOINT POLE
FIRE DEPARTMENT CONNECTION	---	---	TREE
FIRE HYDRANT	---	---	



SITE PLAN
SCALE: 1"=50'



LOCATION MAP
NTS

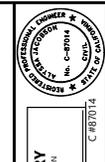
CIVIL SHEET INDEX		
PAGE NO.	SHEET NO.	SHEET TITLE
1	C1.01	TITLE SHEET
2	C2.01	EXISTING CONDITIONS
3	C3.01	DEMOLITION PLAN
4	C4.01	SITE PLAN
5	C5.01	GRADING AND DRAINAGE PLAN
6	C6.01	UTILITY PLAN
7	C7.01	STORMWATER CONTROL PLAN
8	C8.01	FIRE ACCESS PLAN

PROJECT SUMMARY

APPLICANT	DAN DOWLING DOWLAND PROPERTIES, INC 503 3RD STREET DAVIS, CA 94616 590.902.3999
ARCHITECT	TREVOR SCHUR BSE ARCHITECTURE 53 W JACKSON BOULEVARD, SUITE 1532 CHICAGO, IL 60604 415.677.9966
LANDSCAPE ARCHITECT	MAHALAKSHMI BALACHANDRAN MCCULLOUGH LANDSCAPE ARCHITECTS 1111 BRADWAY, SUITE 1320 OAKLAND, CA 94607 619.296.3150
CIVIL ENGINEER	ALYSSA JACOBSON, PE BKF ENGINEERS 150 CALIFORNIA STREET, SUITE 800 SAN FRANCISCO, CA 94111 415.930.7900
TOTAL AREA	27,066 SF (0.62 AC)
ASSESSOR'S PARCEL NO.	070-212-016, 070-212-001, 070-212-009, 070-212-008
ZONING DESIGNATION	M-U
EXISTING LAND USE	RESIDENTIAL
PROPOSED LAND USE	RESIDENTIAL, OFFICE, MIXED-USE
FLOOD ZONES	AREA WITH MINIMAL FLOODING
UTILITIES	<p>WATER SUPPLY: CITY OF DAVIS</p> <p>FIRE PROTECTION: DAVIS FIRE DEPARTMENT</p> <p>SEWAGE DISPOSAL: CITY OF DAVIS</p> <p>STORM DRAIN: CITY OF DAVIS</p> <p>GAS & ELECTRIC: VALLEY CLEAN ENERGY</p>
BASIS OF BEARINGS	THE BEARINGS AND DISTANCES SHOWN HEREON, IF ANY, ARE BASED UPON THE MONUMENTS FOUND ALONG THE SOUTH LINE OF THE LOTS 1, 2, & 3 AS SHOWN ON THE MAP FILED IN BOOK 2003, BOOK OF MAPS, PAGES 65-66. THAT BEARING WAS TAKEN AS: NORTH 76°45'00" EAST
BENCHMARK	PID JS4829
LOCATED AT THE INTERSECTION OF B AND 3RD STREETS, AT THE SOUTHWEST CORNER OF THE MUNICIPAL PARKING LOT.	
ELEVATION = 51.0 FEET (DATUM NAVD 88).	
ENGINEER'S STATEMENT	THESE IMPROVEMENT PLANS HAVE BEEN PREPARED BY ME OR UNDER MY DIRECTION IN ACCORDANCE WITH STANDARD ENGINEERING PRACTICE.
ALYSSA JACOBSON, P.E.	DATE
PROJECT MANAGER	
BKF ENGINEERS	

SYMBOL LEGEND

SYMBOL	DESCRIPTION
	SECTION A ON SHEET C1.01
	DETAIL A ON SHEET C1.01



PRELIMINARY
NOT FOR CONSTRUCTION
DATE: 09/27/2024
ALYSSA JACOBSON

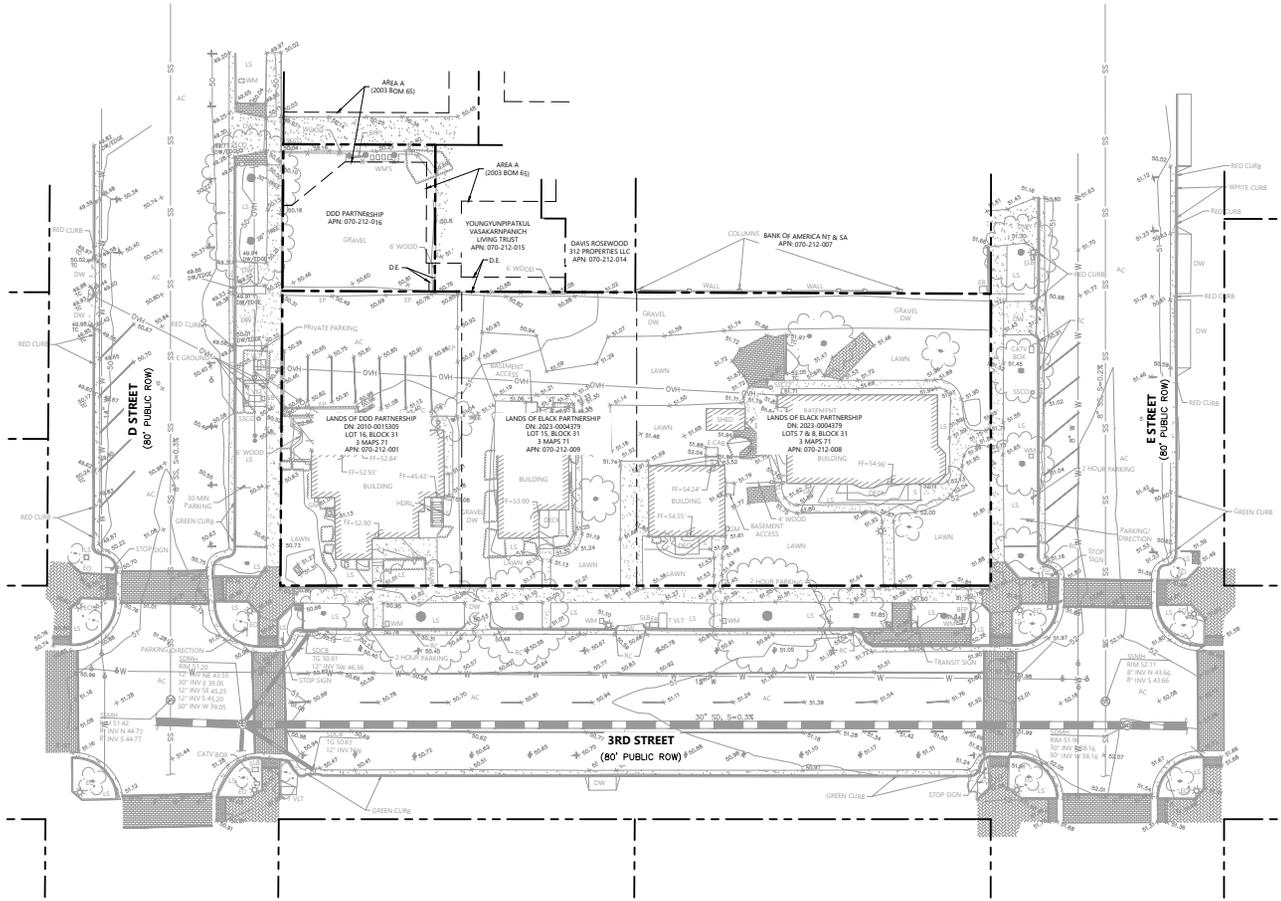
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150 CALIFORNIA STREET
SAN FRANCISCO, CA 94111
415.930.7900
www.bkf.com



305 E STREET
DAVIS, CALIFORNIA

TITLE SHEET

Revisions	
No.	
Date: 5/10/2024	
Scale: AS SHOWN	
Drawn: JAC	
Checked: JAC	
Approved: AJ	
Job No: 2024-0003	



TOPOGRAPHIC NOTES

UNAUTHORIZED CHANGES & USES: THE PROFESSIONAL PREPARING THIS MAP WILL NOT BE RESPONSIBLE FOR, OR LIABLE FOR, UNAUTHORIZED CHANGES TO OR USES OF THIS MAP. CHANGES TO THIS MAP MUST BE REQUESTED IN WRITING AND MUST BE APPROVED BY THE PROFESSIONAL.

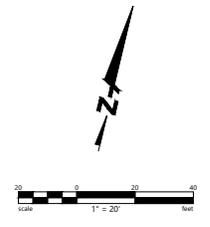
THE LOCATIONS OF EXISTING UNDERGROUND FACILITIES SHOWN ON THESE DRAWINGS ARE APPROXIMATE AND ARE BASED ON OBSERVED TOPOGRAPHIC SURFACE FEATURES AND AVAILABLE INFORMATION. THE PROFESSIONAL PREPARING THIS MAP ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF THESE FACILITIES OR FOR THE INADVERTENT OMISSION OF RELATED INFORMATION.

TREE DIAMETERS ARE MEASURED AT CHEST HEIGHT (48"). DRIFLINE DIAMETERS AND TREE SPECIES ARE APPROXIMATE ONLY AND SHOULD BE VERIFIED BY A CERTIFIED ARBORIST.

THE BEARINGS AND DISTANCES SHOWN HEREON, IF ANY, ARE BASED UPON THE MONUMENTS FOUND ALONG THE SOUTH LINE OF LOTS 1, 2, & 3 AS SHOWN ON THE MAP FILED IN BOOK 2003, BOOK OF MAPS, PAGES 65-66. THAT BEARING WAS TAKEN AS: NORTH 76°45'00" EAST

BENCHMARK: PID JS4829, LOCATED AT THE INTERSECTION OF B AND 3RD STREETS, AT THE SOUTHWEST CORNER OF THE MUNICIPAL PARKING LOT, ELEVATION 51.0 (DATUM NAVD 83).

FIELD SURVEY DATE: 03-28-2024 & 03-29-2024, 04-02-2024, 04-18-2024



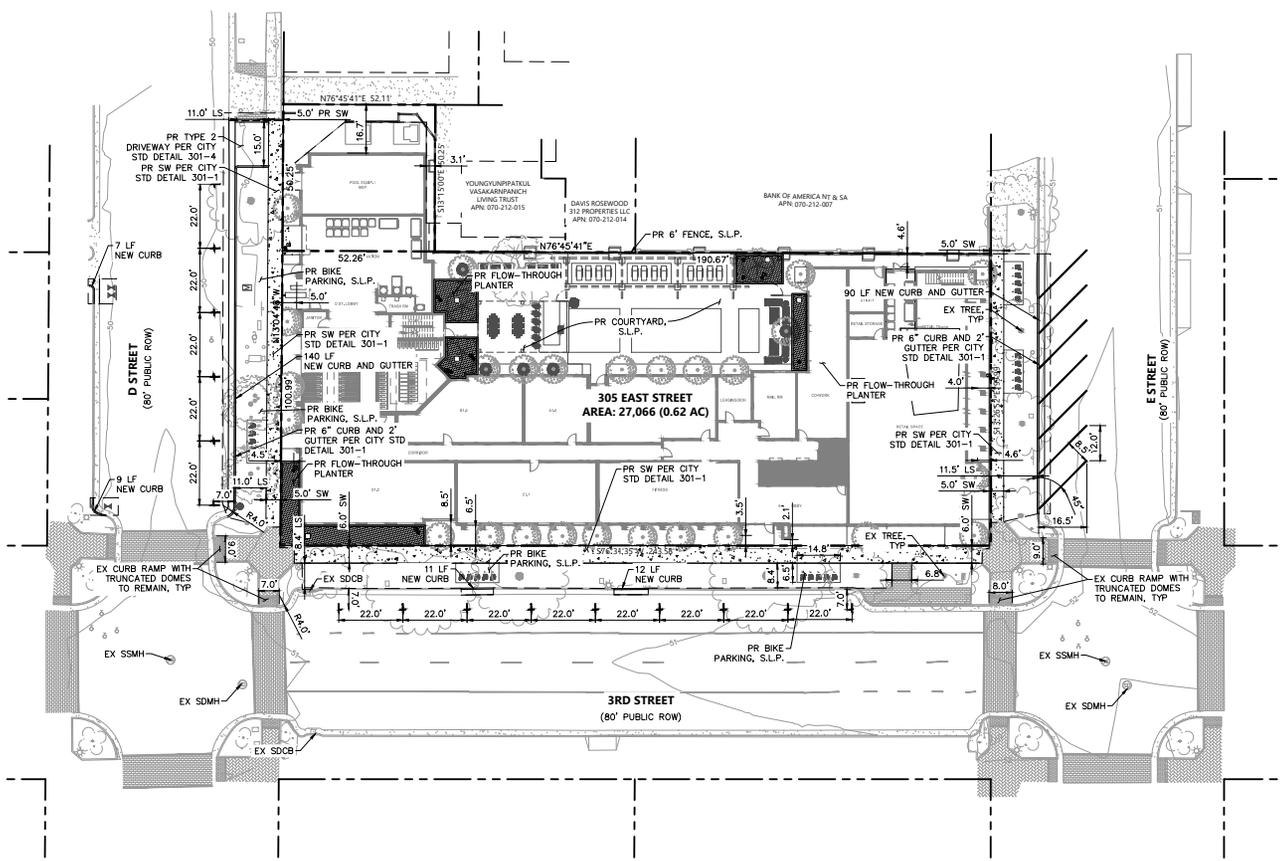
PRELIMINARY
NOT FOR CONSTRUCTION
DATE: 09/27/2024
ALYSSA JACOBSON C #87014



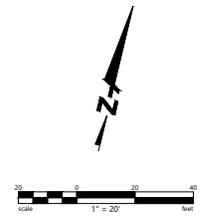
305 E STREET
DRAFT, CALIFORNIA
EXISTING CONDITIONS

Revisions	No.	Description

Date: 5/10/2024
Scale: AS SHOWN
Design: JD
Drawn: WAF
Approved: AJ
Job No: 2024-0003
Drawing Number:
C2.01
2 of 9



- NOTES**
1. A PRECONSTRUCTION BIRD NEST SURVEY IS REQUIRED IF CLEARING AND/OR CONSTRUCTION ACTIVITIES OCCUR DURING BETWEEN MARCH 15-AUGUST 15. THE SURVEY SHALL BE CONDUCTED BY A QUALIFIED BIOLOGIST WITHIN 14 DAYS OF CONSTRUCTION INITIATION. IF ACTIVE NEST SITES ARE IDENTIFIED WITHIN 200 FEET OF PROJECT ACTIVITIES, PROJECTS APPLICATIONS SHALL INCLUDE A 100-FOOT SETBACK FOR ALL ACTIVE NEST SITES PRIOR TO COMMENCEMENT OF ANY PROJECT ACTIVITIES.
 2. A PRECONSTRUCTION ROOSTING BAT SURVEY IS REQUIRED WITHIN 14 DAYS PRIOR TO PROJECT INITIATION.



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DATE: 09/27/2024
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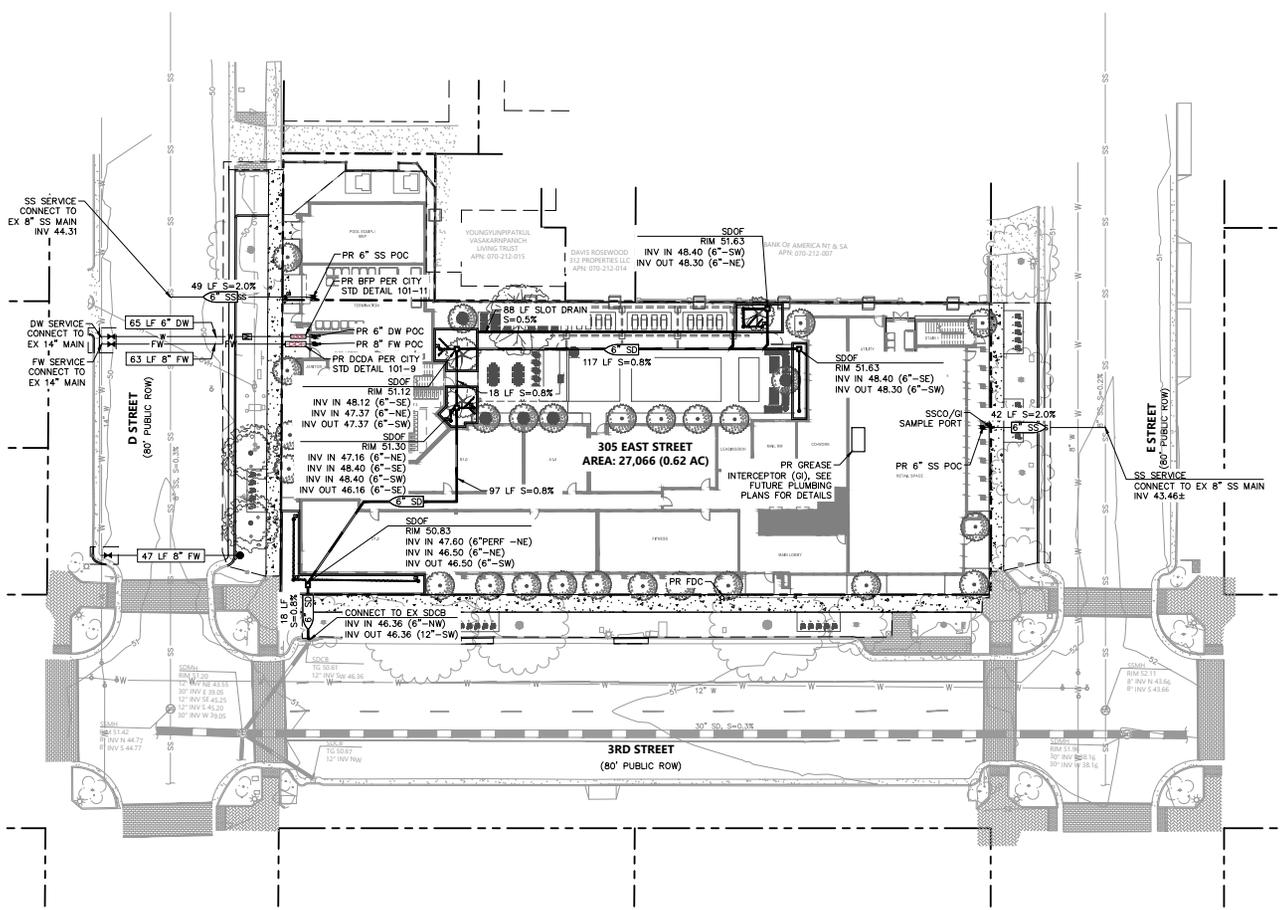


305 E STREET
DARYL, CALIFORNIA
SITE PLAN

Revisions	No.	Date	By	Check

Date: 5/10/2024
Scale: AS SHOWN
Design: JD
Drawn: MR
Approved: AJ
Job No: 2024-0003

Drawing Number:
C4.01
4 of 9



- NOTES**
- PIPE MATERIALS:
 - STORM DRAIN: PVC SDR-26
 - SEWERY: PVC SDR-26
 - DOMESTIC WATER: PVC C900
 - FIRE WATER: PVC C900
- LEGEND**
- CLEANOUT
 - DCDA/RPPA
 - FDC
 - FIRE HYDRANT
 - GATE VALVE
 - POC
 - SD-B
 - WATER METER

PRELIMINARY
NOT FOR CONSTRUCTION

DATE: 09/27/2024
ALYSSA JACOBSON

DATE: 09/27/2024
ALYSSA JACOBSON

DATE: 09/27/2024
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DATE: 09/27/2024
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155 CALIFORNIA STREET
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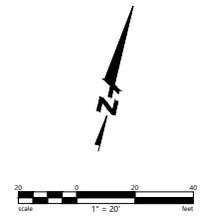
305 E STREET
SAN FRANCISCO, CALIFORNIA

UTILITY PLAN

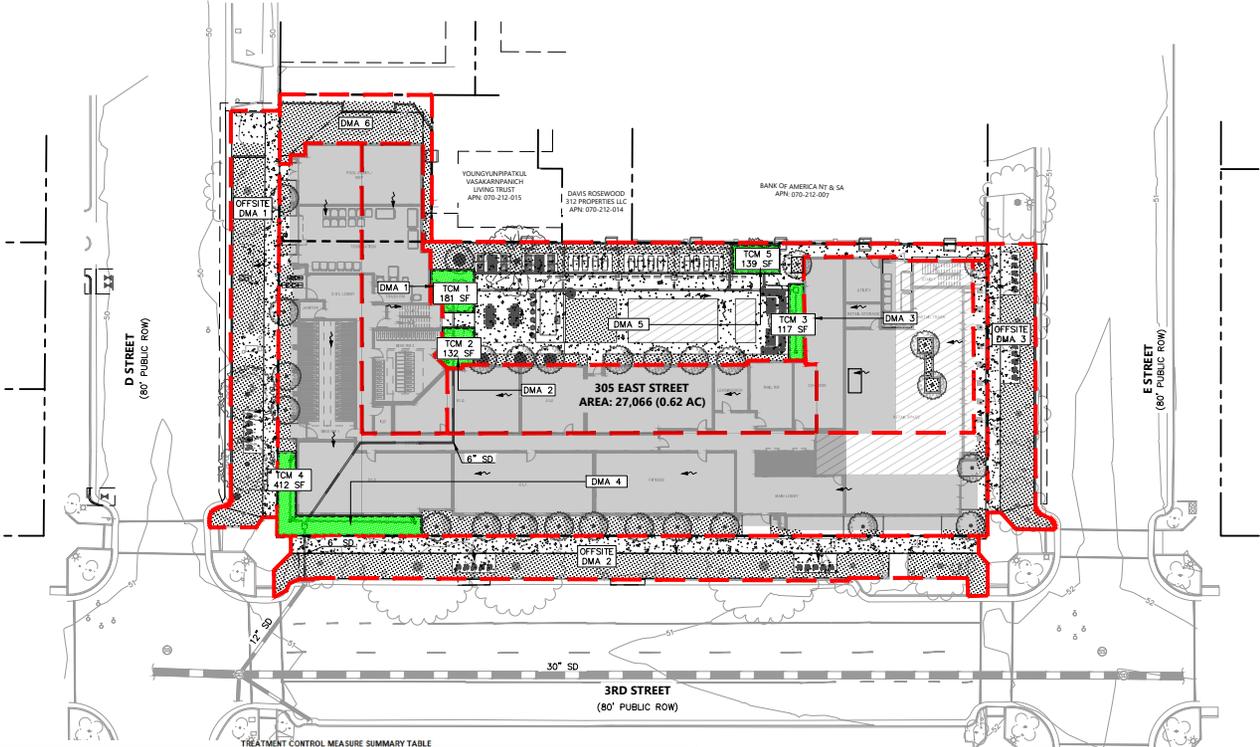
Revisions	No.	Date	By	Check

Date: 5/10/2024
Scale: AS SHOWN
Design: JD
Drawn: MR
Approved: AJ
Job No: 2024-0303

Drawing Number: **C6.01**
6 of 9



- LEGEND**
- IMPERVIOUS ROOF
 - IMPERVIOUS DECK
 - IMPERVIOUS CONCRETE
 - PERVIOUS LANDSCAPE
 - TREATMENT AREA
 - DMA BOUNDARY



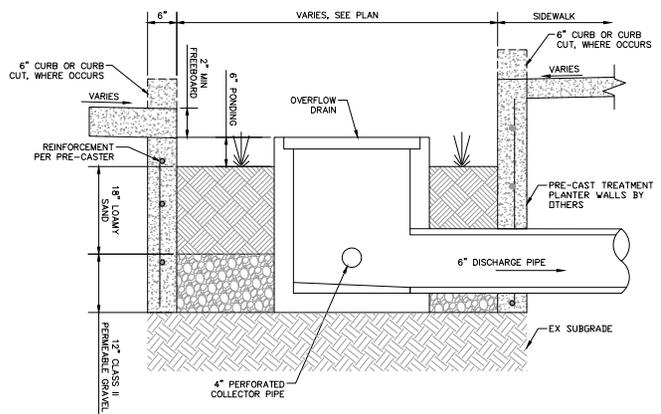
TREATMENT CONTROL MEASURE SUMMARY TABLE

Treatment Control Measure		Bioretention					Self Retaining / Treating						
DMA #	TCM #	Location ¹	Treatment Type ²	Sizing Method	Drainage Area (s.f.)	Impervious Area ³ (s.f.)	Pervious Area (Permeable Pavement) (s.f.)	Pervious Area (Other) (s.f.)	Bioretention Area Required (s.f.)	Bioretention Area Provided (s.f.)	Overflow Riser Height (ft)	Storage Depth Required (ft)	Storage Depth Provided (ft)
1	1	Onsite	Flow-Through planter (concrete lined) w/ underdrain	18" Volume	2,453	2,453	0	0	100	181	6	-	-
2	2	Onsite	Flow-Through planter (concrete lined) w/ underdrain	18" Volume	2,884	2,884	0	0	130	132	6	-	-
3	3	Onsite	Flow-Through planter (concrete lined) w/ underdrain	18" Volume	3,365	3,307	0	58	110	117	10	-	-
4	4	Onsite	Flow-Through planter (concrete lined) w/ underdrain	18" Volume	11,638	10,532	0	1,666	330	412	10	-	-
5	5	Onsite	Flow-Through planter (concrete lined) w/ underdrain	18" Volume	5,608	3,697	0	1,911	130	139	10	-	-
6	6	Onsite	Self-retaining areas (landscaped)	N/A	1,018	0	0	1,018	-	-	-	-	-
On-site Total:					27,066	22,473	0	4,593					

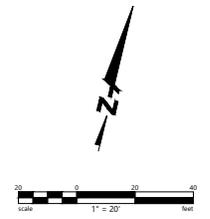
Footnotes:
 1 For the Municipal Regional Stormwater Permit, sidewalks and other parts of the right-of-way should be included in the new and/or replaced impervious surface calculation and treated as required.
 2 "Lined" refers to an impermeable liner placed on the bottom of a Bioretention basin or a concrete Flow-Through Planter, such that no infiltration into native soil occurs.
 3 Sizing for Bioretention Area Required calculated using the 4% Method (Impervious Area x 0.04).
 4 Gravel considered as an impervious surface unless it is part of an infiltration trench.
 5 Not applicable. Equivalent Treatment Areas are not required.
 6 Treatment type of Self-Treating or Self-Retaining should only be used with landscape based treatment. If previous pavement is proposed for Self-Treating or Retaining, use the Pervious Pavement selection.

TREATMENT CONTROL MEASURE SUMMARY TABLE

Treatment Control Measure		Bioretention					Self Retaining / Treating						
DMA #	TCM #	Location ¹	Treatment Type ²	Sizing Method	Drainage Area (s.f.)	Impervious Area ³ (s.f.)	Pervious Area (Permeable Pavement) (s.f.)	Pervious Area (Other) (s.f.)	Bioretention Area Required (s.f.)	Bioretention Area Provided (s.f.)	Overflow Riser Height (ft)	Storage Depth Required (ft)	Storage Depth Provided (ft)
1	1	Offsite	Self-retaining areas (landscaped)	N/A	2,322	1,061	0	1,261	-	-	-	-	-
2	2	Offsite	Self-retaining areas (landscaped)	N/A	3,619	1,733	0	1,886	-	-	-	-	-
3	3	Offsite	Self-retaining areas (landscaped)	N/A	1,589	670	0	921	-	-	-	-	-
Off-site Total:					7,540	3,472	0	4,068					



FLOW-THROUGH PLANTER DETAIL
NTS



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 ALYSSA JACOBSON
 C #87014

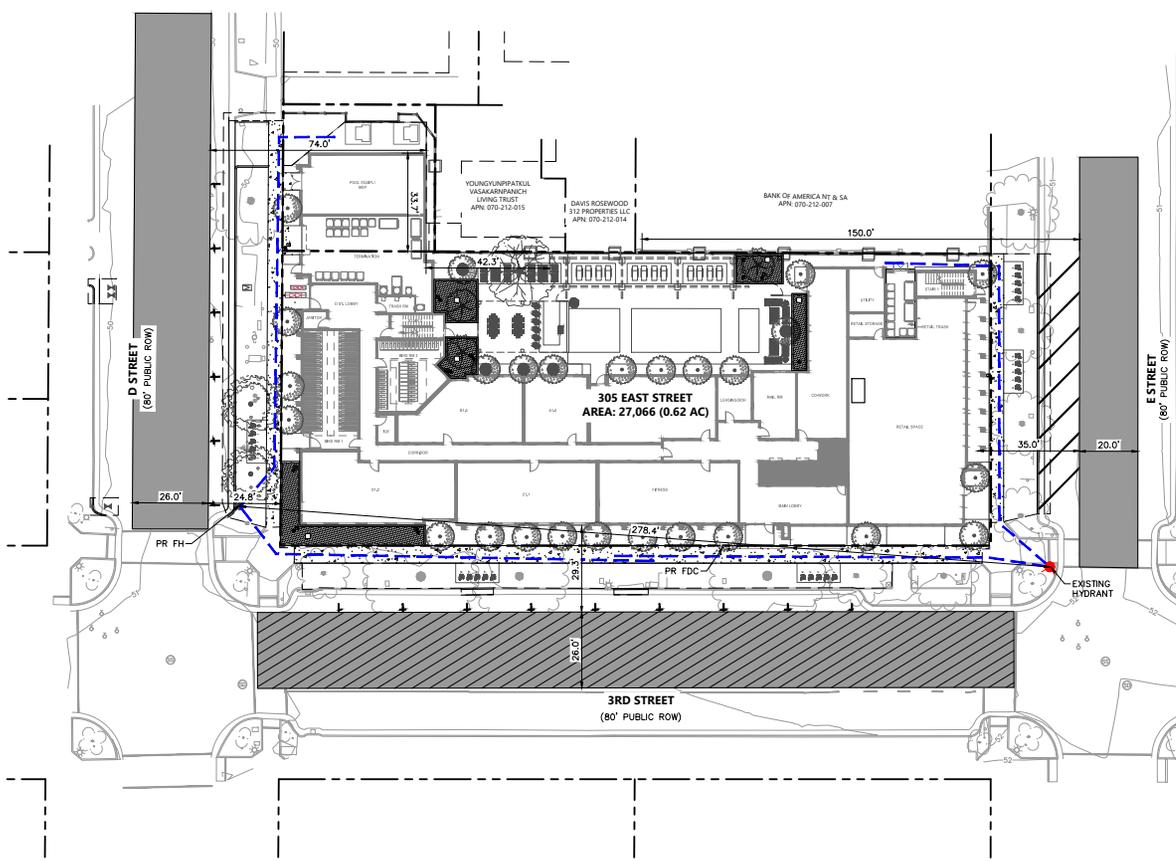


305 E STREET
DAYS, CALIFORNIA

STORMWATER CONTROL PLAN

Revisions				
No.				
Date	5/10/2024	Scale	AS SHOWN	Drawn By
Checked By		Approved By		Job No.
				2024-0030

Drawing Number:
C7.01
7 of 9



- LEGEND**
- PROPOSED FIRE ACCESS ROAD
 - PROPOSED AERIAL ACCESS ROAD
 - 150' FIRE PULL LENGTH
 - FIRE HYDRANT

- NOTES**
1. THE FOLLOWING FIRE FLOW CALCULATIONS ARE BASED UPON CALIFORNIA FIRE CODE (2022 EDITIONS) - APP. B & C
- BUILDING AREA BY CONSTRUCTION TYPE:**
- LEVEL 01 - TYPE IIIA - 17,880 SF
 - LEVEL 02 - TYPE IIIA - 17,880 SF
 - LEVEL 03 - TYPE IIIA - 17,880 SF
 - LEVEL 04 - TYPE IIIA - 17,880 SF
 - LEVEL 05 - TYPE IIIA - 17,880 SF
 - TOTAL GSF = 89,400
- TYPE IIIA ALL 5 FLOORS = 89,400 GSF
TOTAL GSF = 89,400 GSF
- FIRE FLOW BY CONSTRUCTION TYPE - CFC SECTION B104.1 & TABLE B105.1:**
- TYPE IIIA AT 89,400 GSF = 4,250 GPM
- FIRE FLOW REDUCTION - CFC APP. B - TABLE B105.1(2) & B105.2: FIRE FLOW REDUCTION - SPRINKLER SYSTEM 903.3.1.1**
- 4,250 GPM * 0.25 = 1,063 GPM NET REQUIRED FIRE FLOW (CFC)
- FIRE HYDRANT LOCATIONS & DISTRIBUTION - APPENDIX C - TABLE C102.1 & C102.1(F):**
- FIRE FLOW REQUIRED = 1,063 GPM
NUMBER OF HYDRANTS REQUIRED (BASED ON FULL FLOW) = 1
AVERAGE HYDRANT SPACING (WITH SPACING INCREASE) = 750 FT (500 + 50% INCREASE - C102.1(F))



PRELIMINARY
NOT FOR CONSTRUCTION

DATE: 09/27/2024
ALYSSA JACOBSON C #87014



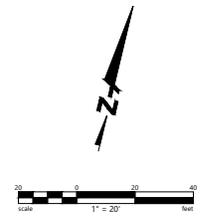
305 E STREET
DARTON, CALIFORNIA

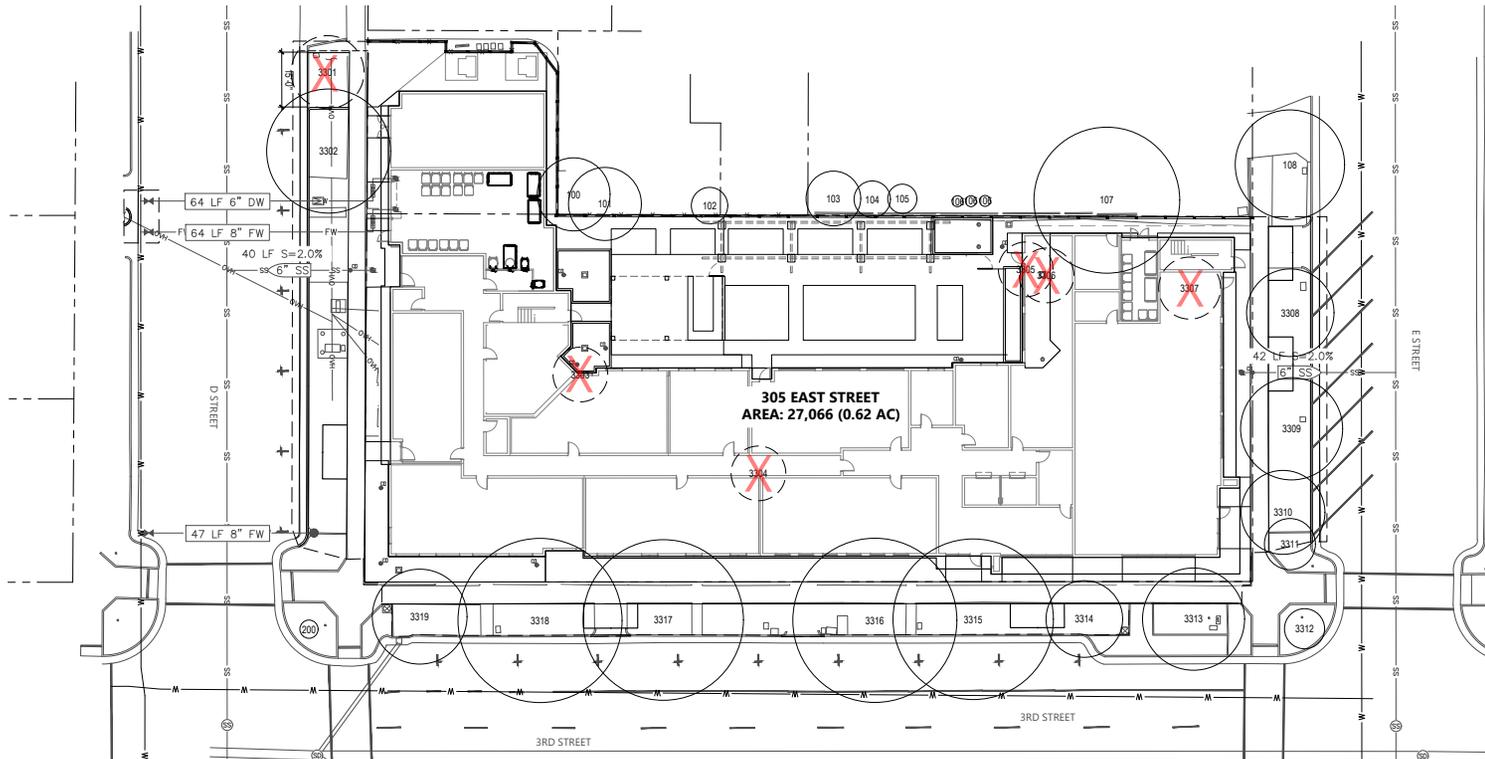
FIRE ACCESS PLAN

Revisions	No.	Date	By	Check

Date: 5/10/2024
Scale: AS SHOWN
Design: JD
Drawn: MR
Approved: AJ
Job No: 20240303

Drawing Number:
C8.01
8 of 9





305 EAST STREET
AREA: 27,066 (0.62 AC)

TREE PRESERVATION SPECIFICATIONS

PROPOSED DEVELOPMENT PLANS AND SPECIFICATIONS SHALL PREPARE A TREE PROTECTION PLAN FOR EXISTING TREES TO BE PRESERVED FOR THE PROJECT. ANY TREE CARE PRACTICES, SUCH AS CUTTING OF ROOTS OR PRUNING, SHALL BE ADEQUATELY DESCRIBED AND SHALL BE APPROVED BY THE URBAN FORESTRY PROGRAM MANAGER OR URBAN FORESTRY PROGRAM REPRESENTATIVE. DAMAGE TO OR ILLEGAL REMOVAL OF EXISTING TREES SHALL BE A VIOLATION OF CHAPTER 37 OF THE DAVIS MUNICIPAL CODE AND PENALTIES CAN BE LEVIED.

TREES SHALL BE FENCED PRIOR TO CONSTRUCTION. SOIL COMPACTION UNDER TREES IS TO BE AVOIDED. THE FENCE SHALL PREVENT EQUIPMENT TRAFFIC, MATERIAL STORAGE UNDER THE TREES, AND PARKING OF CONSTRUCTION VEHICLES FROM UNDER THE TREES AND SHOULD EXTEND JUST BEYOND THE DRIPLINE. EXCAVATION WITHIN THIS ZONE SHALL BE ACCOMPLISHED BY HAND, AND ROOTS 2' AND LARGER SHALL BE PRESERVED.

PROPER FERTILIZATION AND IRRIGATION PRIOR TO, AND DURING THE CONSTRUCTION PERIOD SHALL BE PROVIDED AS SPECIFIED IN THE TREE PRESERVATION AND PROTECTION PLAN.

NEW LANDSCAPING UNDER EXISTING TREES SHALL BE CAREFULLY PLANNED TO AVOID ANY GRADE CHANGES AND ANY EXCESS MOISTURE IN THE TRUNK AREA. EXISTING PLANTS WHICH ARE COMPATIBLE AS TO IRRIGATION REQUIREMENTS AND WHICH COMPLEMENT THE TREES AS TO COLOR, TEXTURE AND FORM ARE TO BE SAVED.

TRENCHING WITHIN THE DRIPLINE SHALL BE PERFORMED ONLY WITH PRIOR APPROVAL OF THE URBAN FORESTRY PROGRAM MANAGER OR THEIR DESIGNEE. DIRECTIONAL BORING IS PREFERRED WHEN FEASIBLE.

ALL PAVING PLANS AND SPECIFICATIONS SHALL CLEARLY PROHIBIT THE USE OF SOIL STERILANTS ADJACENT TO PRESERVED TREES.

GRADE CHANGES GREATER THAN ONE FOOT WITHIN THE DRIPLINE SHALL BE AVOIDED, AND NOTHING OTHER THAN A SAW SHALL BE USED FOR ROOT CUTTING.

IT IS THE PROPERTY OWNER OR DESIGNATED REPRESENTATIVE'S RESPONSIBILITY TO ENSURE THAT ALL TRADES/SUBCONTRACTORS AND UTILITY COMPANIES ABIDE BY TREE PROTECTION PLAN CONDITIONS.

FROM THE CONCEPTION OF PLANS, ARCHITECTS, DEVELOPERS, ENGINEERS AND/OR PLANNERS SHALL LOCATE AND IDENTIFY ALL EXISTING TREES ON PROPOSED PROJECT SITE PLANS AND SHALL MAKE EVERY EFFORT TO COMPLY WITH THE CITY POLICIES FOR TREE PROTECTION.

NOTE THAT ANY PRESERVATION MEASURES PUT INTO PLACE AS APPROVED IN THE TREE PROTECTION PLAN MUST REMAIN IN PLACE UNTIL THE CONCLUSION OF THE PROJECT.

LANDSCAPE CALCULATIONS:

TOTAL SITE AREA 27,066 SF
 BUILDING FOOTPRINT = 17,016 SF (63%)
 TOTAL LANDSCAPED AREA 10,898 SF (16%)
 AREA OF PAVED HARDSCAPE WITHIN PROPERTY LINE (INCLUDING POOL/SEAT WALLS): 15,397 SF (22%)
 AREA OF PAVED HARDSCAPE WITHIN PUBLIC ROW: 4,155 SF
 TYPE OF LANDSCAPE: LOW WATER USE, NATIVE, DROUGHT TOLERANT PLANT SPECIES
 TOTAL SHORT TERM BIKE PARKING PROVIDED ON SITE: 33

SUMMARY OF TREES TO BE REMOVED

NO. OF EXISTING TREES REMOVED	TOTAL DBH OF REMOVED TREES REQUIRING MITIGATION*
6 TREES (REQUIRES MITIGATION)	93
1 DEAD TREE (NO MITIGATION)	

* PER CALIFORNIA TREE AND LANDSCAPE CONSULTING, INC ARBORIST REPORT FOR PROPOSED DEVELOPMENT AT 305 E ST., DAVIS, CA, DATED APRIL 27, 2024

SUMMARY OF PROPOSED NEW TREES

MIN. CONTAINER SIZE	DBH OF PROPOSED TREE PER CONTAINER SIZE	QTY.	TOTAL DBH OF PROPOSED TREES**
SPECIMEN TREE			
72" BOX	4.50	1	5
STREET TREE			
36" BOX	2.50	2	5
ACCENT TREE			
24" BOX	1.50	2	3
36" BOX	2.50	10	25
48" BOX	3.50	14	49
BMP TREE			
36" BOX	2.50	3	8
TOTAL NO. OF PROPOSED NEW TREES		32	

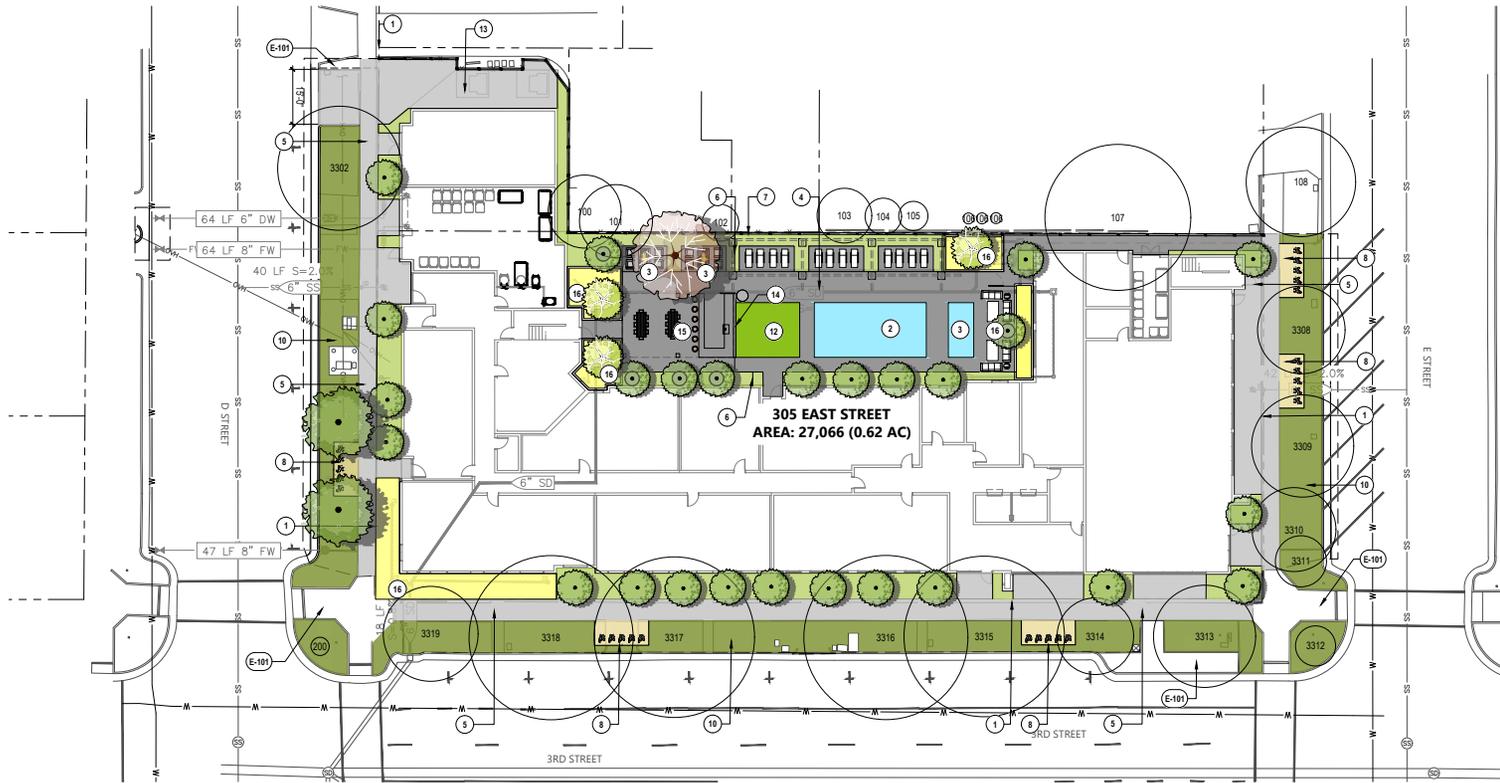
TOTAL DBH OF PROPOSED NEW TREES
 TOTAL NO. OF INCHES (FOR IN LEU FEES) -1
 ** DBH = DIAMETER AT BREAST HEIGHT
 TOTAL DBH OF PROPOSED NEW TREES IS AVAILABLE TO MITIGATE THE LOSS OF EXISTING TREES OF SIGNIFICANCE

CODE	BOTANICAL / COMMON NAME	CONT	CAL	QTY
EXISTING TREES (TO BE REMOVED)				
3301	CELTIS SINENSIS	PER ARBORIST REPORT	PER ARBORIST REPORT	1
3303	CHINESE HACKBERRY EUCALYPTUS POLYANTHEMOS	PER ARBORIST REPORT	PER ARBORIST REPORT	1
3304	RED BOX CITRUS X SINENSIS	PER ARBORIST REPORT	PER ARBORIST REPORT	1
3305	SWEET ORANGE MYRTUS COMMUNIS	PER ARBORIST REPORT	PER ARBORIST REPORT	1
3306	MYRTUS COMMUNIS	PER ARBORIST REPORT	PER ARBORIST REPORT	1
3307	COMMON MYRTLE PRUNUS SERRULATA JAPANESE FLOWERING CHERRY	PER ARBORIST REPORT	PER ARBORIST REPORT	1
EXISTING TREES (TO REMAIN)				
200	LAGERSTROEMIA INDICA	PER ARBORIST REPORT	PER ARBORIST REPORT	1
3302	CELTIS SINENSIS	PER ARBORIST REPORT	PER ARBORIST REPORT	1
3308	CHINESE HACKBERRY PLATANUS X HISPANICA	PER ARBORIST REPORT	PER ARBORIST REPORT	1
3309	LONDON PLANE TREE PLATANUS X HISPANICA	PER ARBORIST REPORT	PER ARBORIST REPORT	1
3310	LONDON PLANE TREE PLATANUS X HISPANICA	PER ARBORIST REPORT	PER ARBORIST REPORT	1
3311	LONDON PLANE TREE LAGERSTROEMIA INDICA	PER ARBORIST REPORT	PER ARBORIST REPORT	1
3312	LAGERSTROEMIA INDICA CRAPE MYRTLE	PER ARBORIST REPORT	PER ARBORIST REPORT	1
3313	LAGERSTROEMIA INDICA PLATANUS X HISPANICA	PER ARBORIST REPORT	PER ARBORIST REPORT	1
3314	LONDON PLANE TREE PLATANUS X HISPANICA	PER ARBORIST REPORT	PER ARBORIST REPORT	1
3315	LONDON PLANE TREE PLATANUS X HISPANICA	PER ARBORIST REPORT	PER ARBORIST REPORT	1
3316	LONDON PLANE TREE PLATANUS X HISPANICA	PER ARBORIST REPORT	PER ARBORIST REPORT	1
3317	LONDON PLANE TREE PLATANUS X HISPANICA	PER ARBORIST REPORT	PER ARBORIST REPORT	1
3318	LONDON PLANE TREE PLATANUS X HISPANICA	PER ARBORIST REPORT	PER ARBORIST REPORT	1
3319	LONDON PLANE TREE PLATANUS X HISPANICA	PER ARBORIST REPORT	PER ARBORIST REPORT	1
EXISTING TREES (OFF-SITE)				
100	CELTIS SINENSIS	PER ARBORIST REPORT	PER ARBORIST REPORT	1
101	CHINESE HACKBERRY	PER ARBORIST REPORT	PER ARBORIST REPORT	1
102	CHINESE HACKBERRY	PER ARBORIST REPORT	PER ARBORIST REPORT	1
103	PRUNUS SP. GREEN PLUM LIGUSTRUM SP. PRIVET	PER ARBORIST REPORT	PER ARBORIST REPORT	1
104	PHOTINIA SERRULATA CHINESE PHOTINIA	PER ARBORIST REPORT	PER ARBORIST REPORT	1
105	PHOTINIA SERRULATA CHINESE PHOTINIA	PER ARBORIST REPORT	PER ARBORIST REPORT	1
106	CUPRESSUS SEMPERVIRENS ITALIAN CYPRESS	PER ARBORIST REPORT	PER ARBORIST REPORT	3
107	PLATANUS X HISPANICA LONDON PLANE TREE	PER ARBORIST REPORT	PER ARBORIST REPORT	1
108	PLATANUS X HISPANICA LONDON PLANE TREE	PER ARBORIST REPORT	PER ARBORIST REPORT	1

NOTE: ALL TREE WORK (REMOVALS AND PRUNING) WILL REQUIRE A TREE MODIFICATION PERMIT (TMP). ARBORIST AND PROJECT TEAM TO DETERMINE AND PROVIDE IMPROVEMENT IMPACTS AND PROTECTION PROCEDURES FOR EXISTING TREES NOT (OUTSIDE THE SCOPE) WHOSE ROOTS AND CANOPY ARE IMPACTED WITHIN THE SCOPE OF WORK DURING CONSTRUCTION DOCUMENTATION PHASE.



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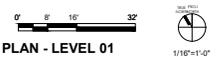
305 EAST STREET
AREA: 27,066 (0.62 AC)

CONCEPT PLANT SCHEDULE

- 
SPECIMEN TREE
 72" BOX
 OLEA EUROPAEA 'FRUITLESS' / FRUITLESS OLIVE
 PROSOPIS CHILENSIS 'THORNLESS' / THORNLESS CHILEAN MESQUITE
 QUERCUS AGRIFOLIA / COAST LIVE OAK MULTI-TRUNK
 QUERCUS ENGELMANNI / ENGELMANN OAK
- 
ACCENT TREE
 24" BOX - 48" BOX
 CERCIS CANADENSIS 'TEXENSIS 'OKLAHOMA' / OKLAHOMA TEXAS REDBUD
 CERCIS OCCIDENTALIS / WESTERN REDBUD MULTI-TRUNK
 LAGERSTROEMIA INDICA / CRAPE MYRTLE
 LAURUS NOBILIS / SWEET BAY
 METASEQUOIA GLYPTOSTROBILIS / DAWN REDWOOD
 QUERCUS MACROCARPA 'JFS-KW3' / URBAN PINNACLE® OAK
 ULMUS PROPINQUA 'JFS-BIEBERICH' / EMERALD SUNSHINE® ELM
 X CHITALPA TASHKENTENSIS / CHITALPA
- 
STREET TREE
 36" BOX
 LAGERSTROEMIA INDICA / CRAPE MYRTLE
- 
BMP TREE
 36" BOX - 48" BOX
 AESCULUS CALIFORNICA / CALIFORNIA BUCKEYE
 CERCIS OCCIDENTALIS / WESTERN REDBUD MULTI-TRUNK
 CHILOPSIS LINEARIS / DESERT WILLOW
 MORELLA CALIFORNICA / CALIFORNIA WAX MYRTLE
 MYRICA CALIFORNICA / PACIFIC WAX MYRTLE

REFERENCE NOTES SCHEDULE

CODE	DESCRIPTION
1	PROPERTY LINE
2	POOL / SPA AREA
3	SOCIAL LOUNGE
4	ENHANCED INTEGRAL COLOR CONCRETE PAVING, POOL LOUNGE
5	CONCRETE PAVING - CITY STANDARD
6	6' HT. ORNAMENTAL METAL FENCE AND GATE
7	6' HT. PERIMETER WOOD FENCE AND GATE
8	BIKE PARKING
9	PLANTING AREA
10	PLANTING AREA - PUBLIC RIGHT-OF-WAY
12	SYNTHETIC TURF LOUNGE
13	UTILITY TRANSFORMER PER ELECTRICAL
14	9' HT. POOL MEDIA PROJECTION WALL
15	OUTDOOR KITCHEN WITH SHADE STRUCTURE
16	BIORETENTION PLANTING
01	PAVEMENTS, RAMPS, CURBS
01-01	PAVING TYPE 1
EXISTING TO REMAIN	
E-101	EXISTING SIDEWALK BRICK PAVING TO REMAIN



LANDSCAPE PLAN - LEVEL 01

L1.01

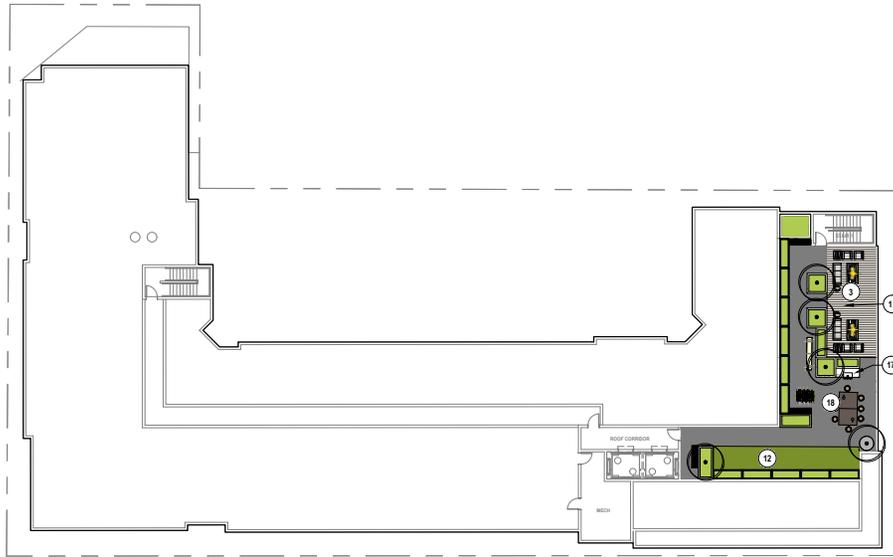
305 E STREET

DAVIS, CA

October 3, 2024



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REFERENCE NOTES SCHEDULE	
CODE	DESCRIPTION
3	SOCIAL LOUNGE
4	ENHANCED INTEGRAL COLOR CONCRETE PAVING, POOL LOUNGE
9	PLANTING AREA
11	DECKING ON STRUCTURE
12	SYNTHETIC TURF LOUNGE
17	ROOF DECK - OUTDOOR CONCRETE KITCHEN/BBQ/GRILLING COUNTER WITH BUILT IN GRILL
18	ROOF DECK - PLAY LOUNGE



LANDSCAPE PLAN - ROOF DECK

1/16"=1'-0"

L1.03

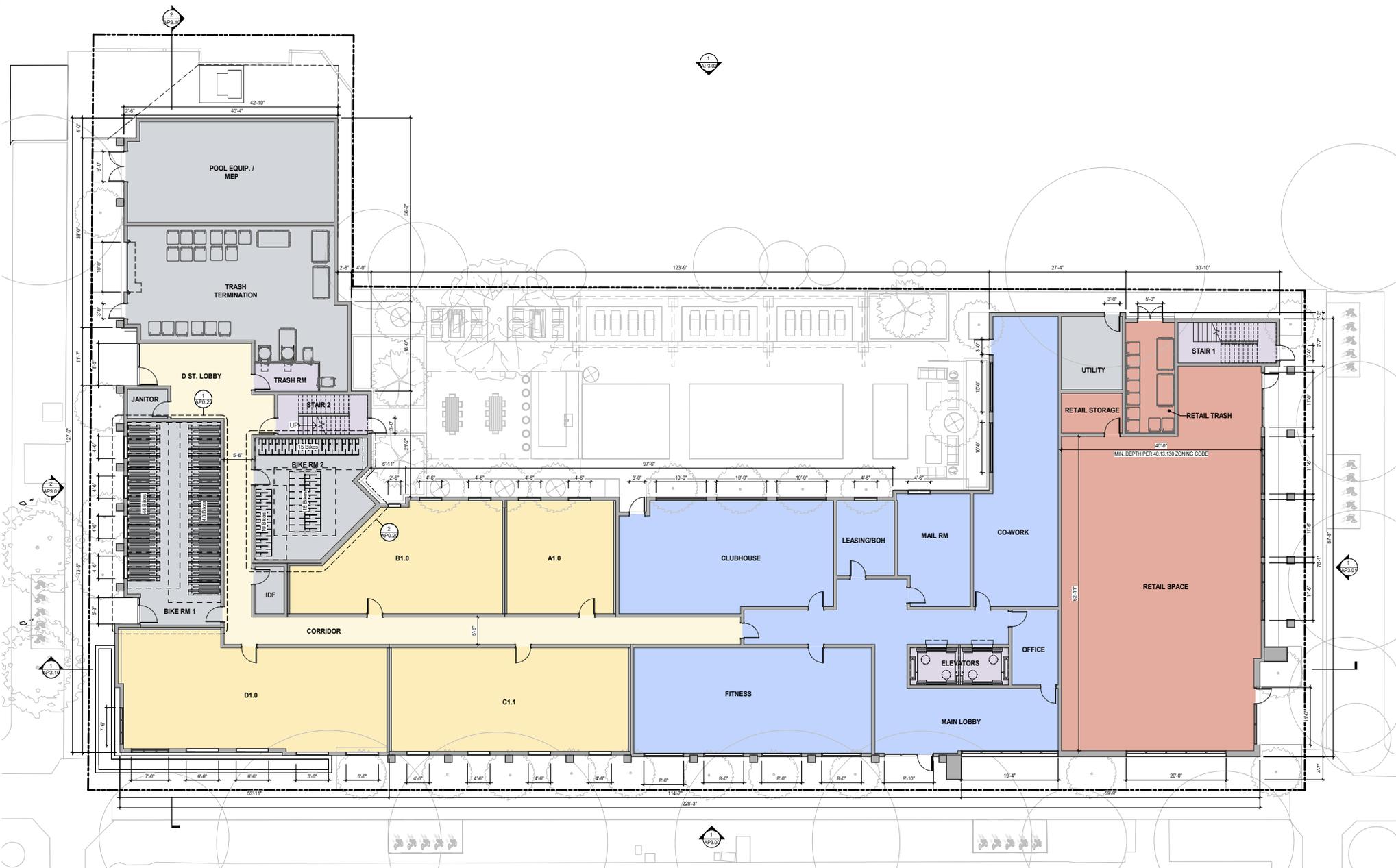
DAVIS, CA

October 3, 2024

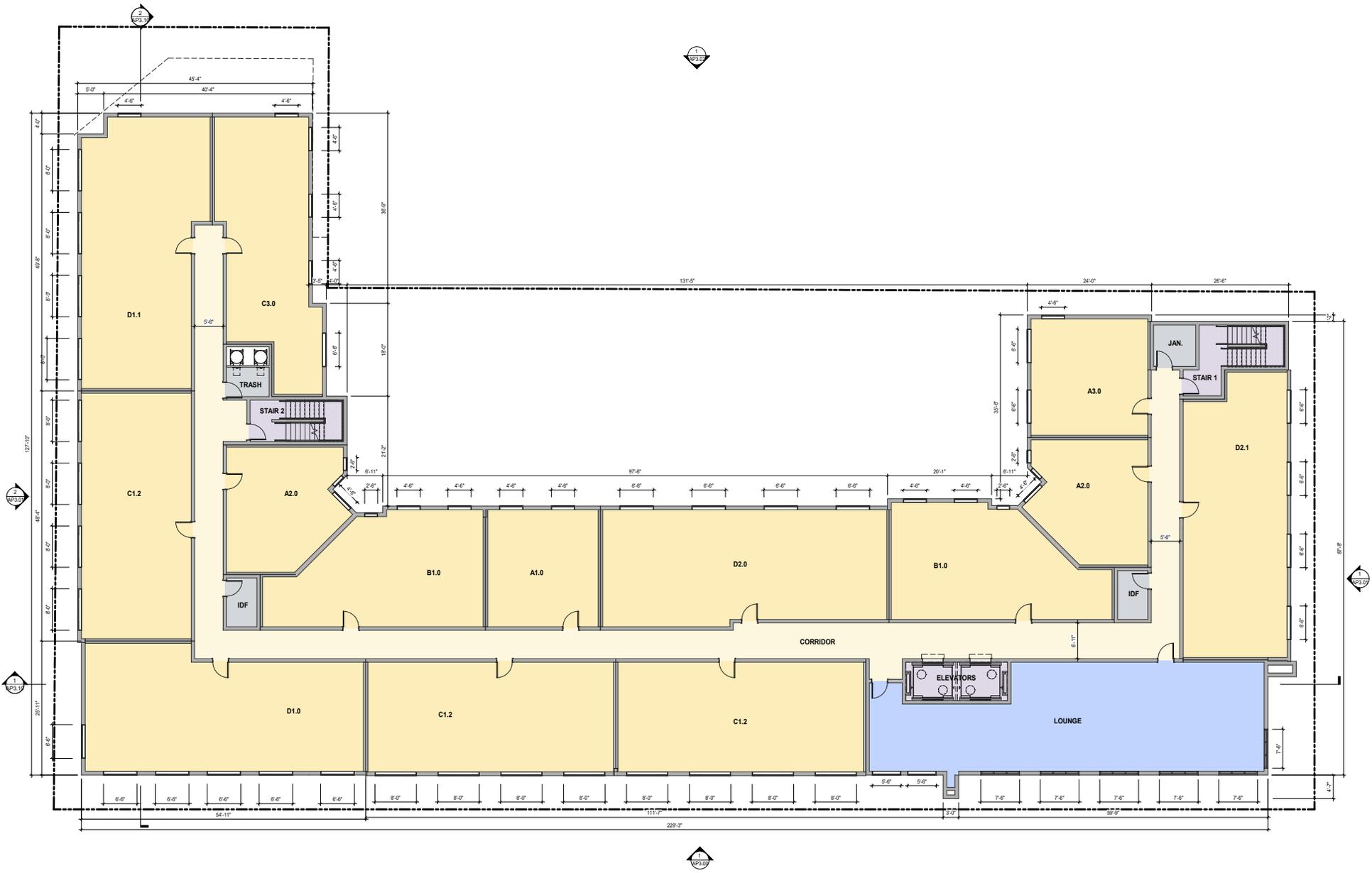
305 E STREET

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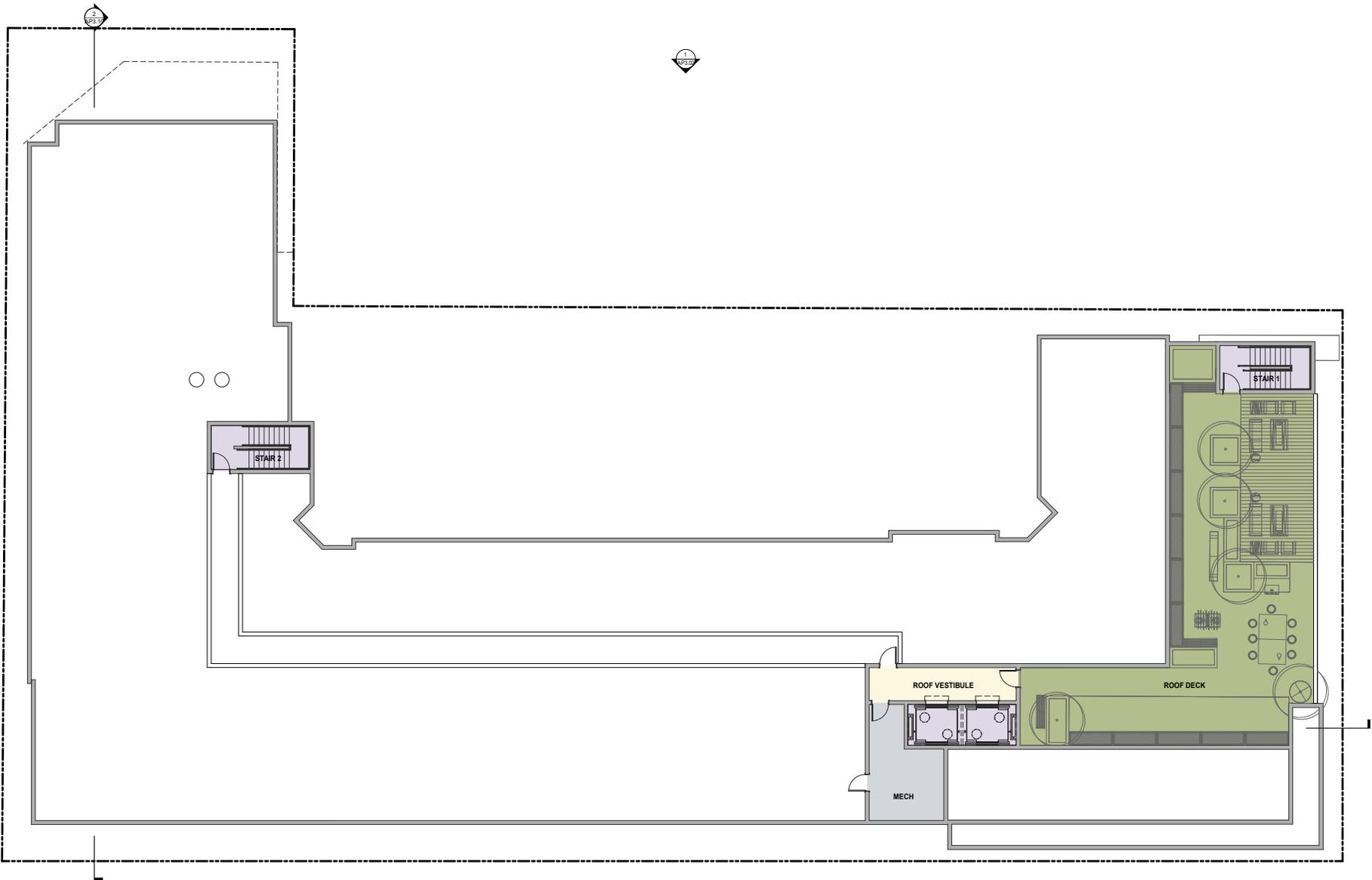


FLOOR 1 1/8"=1'-0" AP2.01



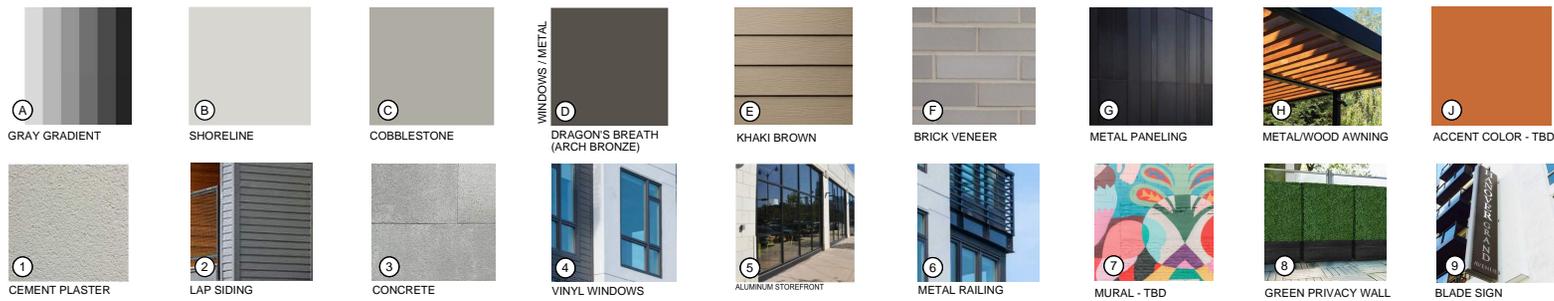
FLOOR 5 1/8"=1'-0" AP2.05

DAVIS CA OCTOBER 8, 2024





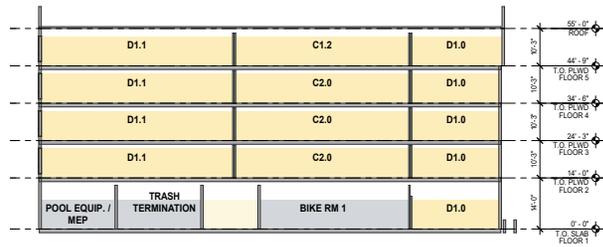
PLANNING - BUILDING ELEVATION - SOUTH 1
1/8" = 1'-0"





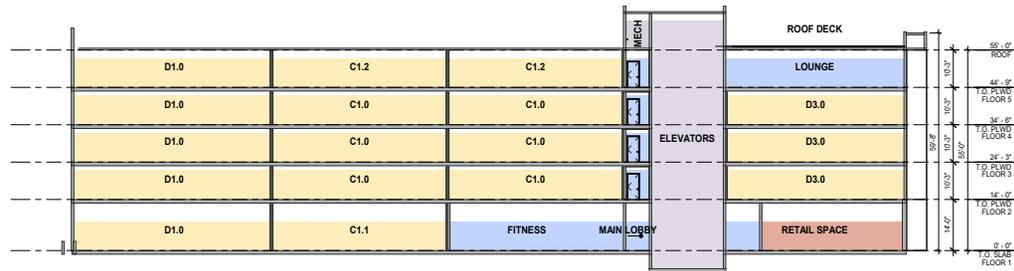
PLANNING - BUILDING ELEVATION - NORTH 1

1/8" = 1'-0"



BUILDING SECTION - N/S 2

1/16" = 1'-0"



BUILDING SECTION - E/W 1

1/16" = 1'-0"





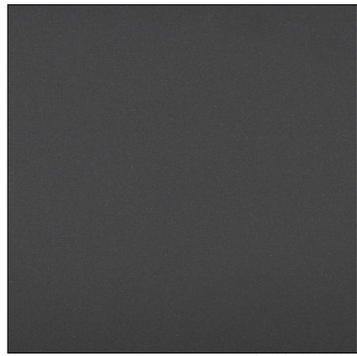
ELEVATION - G STREET & FIFTH STREET



(SAMPLE FOR TEXTURE ONLY)
CEMENT PLASTER - SAND FLOAT



(SAMPLE FOR TEXTURE ONLY)
FIBER CEMENT LAP SIDING



'GRAPHITE MICA OR SIM.
ALUMINUM COMPOSITE PANEL



'MEDIUM BRONZE'
ALUMINUM STOREFRONT



'RUSTIC BRONZE'
VINYL WINDOW



(SAMPLE FOR COLOR AND SIZE ONLY)
THIN BRICK VENEER - 'LIGHT GRAY BLEND OR SIM.



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CONSULTANT

BDE
 ARCHITECT

DOWLING PROPERTIES
 OWNER / DEVELOPER

NO.	DATE	ISSUE / REVISION	ISSUED BY

305 E STREET
 DAVIS, CA

PROJECT

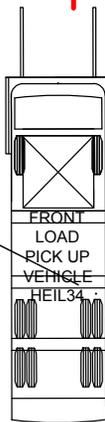
STAGING AREA

DRAWING TITLE
 PROJECT NO.
 DRAWN CS
 APPROVED SB
 DATE 09/20/2024
 SCALE 1/8" = 1'-0"

TR0.1

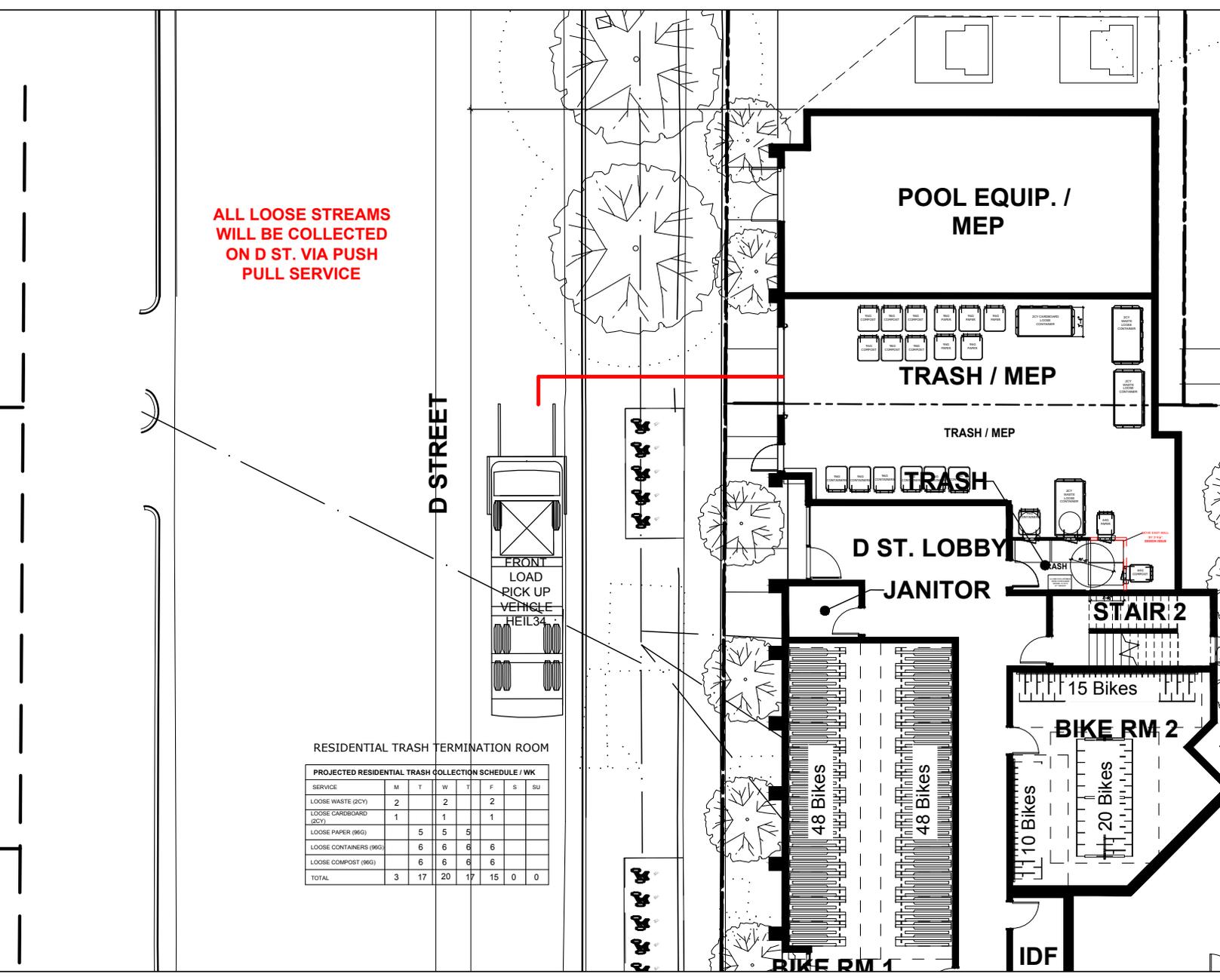
ALL LOOSE STREAMS
 WILL BE COLLECTED
 ON D ST. VIA PUSH
 PULL SERVICE

D STREET



RESIDENTIAL TRASH TERMINATION ROOM

PROJECTED RESIDENTIAL TRASH COLLECTION SCHEDULE / WK							
SERVICE	M	T	W	T	F	S	SU
LOOSE WASTE (CY)	2		2		2		
LOOSE CARDBOARD (CY)	1		1		1		
LOOSE PAPER (96G)		5	5	5			
LOOSE CONTAINERS (96G)	6	6	6	6	6		
LOOSE COMPOST (96G)	6	6	6	6	6		
TOTAL	3	17	20	17	15	0	0



BIKE RM 1

IDF

BIKE RM 2

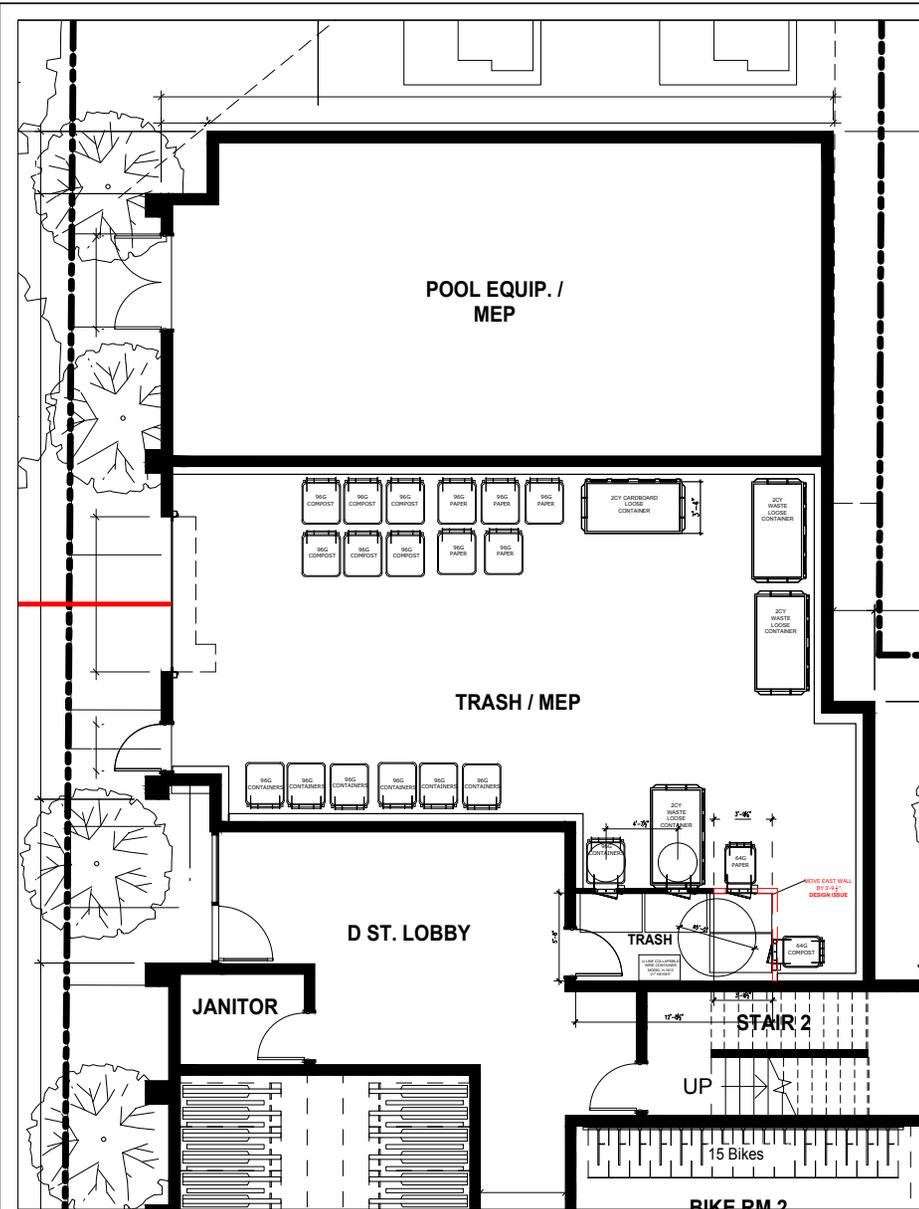
15 Bikes

20 Bikes

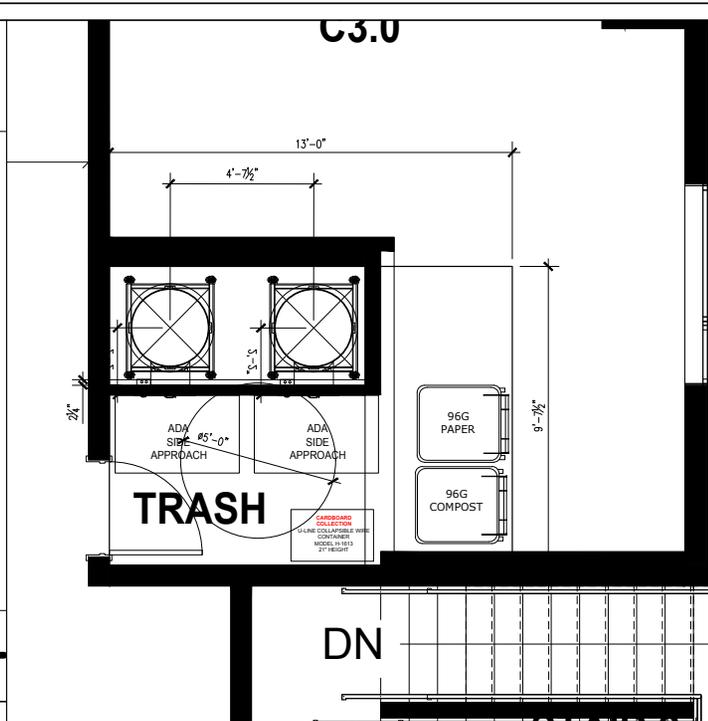
10 Bikes

48 Bikes

48 Bikes



RESIDENTIAL TRASH TERMINATION ROOM
LEVEL 01



UPPER FLOOR CHUTE VESTIBULE
(LEVEL 2-5)

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BDE
ARCHITECT
DOWLING PROPERTIES
OWNER / DEVELOPER

NO.	DATE	ISSUE / REVISION	ISSUED BY

PROJECT	305 E STREET DAVIS, CA
---------	------------------------

DRAWING TITLE	RECOMMENDED RESIDENTIAL TRASH TERMINATION ROOM
---------------	--

PROJECT NO.	DRAWING NO.
DRAWN CS	TR1.0
APPROVED SB	
DATE 09/20/2024	
SCALE AS SHOWN	

UTILITY

RETAIL TRASH ROOM

STAIR 1

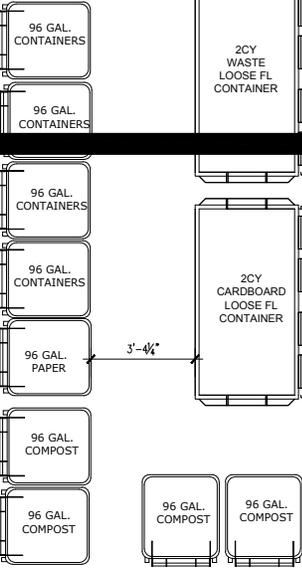
STORAGE

23'-4"

3'-4 1/4"

9'-11 1/2"

5'-0" ROLL-UP DOOR



**SAMPLE RETAIL TRASH TERMINATION ROOM LAYOUT
LEVEL 01**

PROJECTED RETAIL TRASH COLLECTION SCHEDULE / WK

SERVICE	M	T	W	T	F	S	SU
LOOSE WASTE (3CY)	1		1		1		
LOOSE CARDBOARD (2CY)	1		1		1		
LOOSE PAPER (96G)	1		1		1		
LOOSE CONTAINERS (96G)		3	4	4			
LOOSE COMPOST (96G)	4	4		3	4		
TOTAL	7	7	7	6	7	0	0



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BDE

ARCHITECT

DOWLING PROPERTIES

OWNER / DEVELOPER

NO.	DATE	ISSUE / REVISION	ISSUED BY

305 E STREET
DAVIS, CA

PROJECT

COMMERCIAL
TRASH ROOM

DRAWING TITLE

PROJECT NO.

DRAWING NO.

DRAWN CS

APPROVED SB

DATE 09/20/2024

SCALE AS SHOWN

TR1.1